



Information to Support a Section 4.55(1A) Modification

Client: Techspan Building Systems Pty Ltd

Site Address: 293 Bundella Road, Quirindi

18 November 2025

Our Reference: 48542-PR02_A


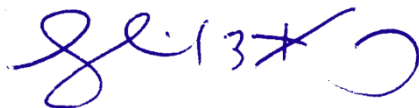
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Project Name:	Killara Feedlot Shade Structures at 293 Bundella Road, Quirindi
Client:	Techspan Building Systems Pty Ltd
Project Number:	48542
Report Reference:	48542-PR02_A
Date:	18 November 2025

Prepared by:	Reviewed by:
	
Jack Massey MPIA Senior Town Planner	Jim Sarantzouklis MAIBS (Assoc.) MEHA MAICD RPIA Director

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1. INTRODUCTION

1.1. Background

Barnson Pty Ltd has been engaged by Techspan Building Systems Pty Ltd to prepare information in support of an application to modify a Development Application. Specifically, it is proposed to modify DA 24/1987 which was for a Cattle Feedlot, 293 Bundella Road, Quirindi.

The proposed modification includes the construction of new shade structures that shall provide shade for stock (i.e. cattle) associated with the feedlot operation.

The application has been prepared on the basis that Council, as consent authority, is satisfied that the modification may be assessed under section 4.55 of the EP&A Act. No opinion is expressed by the author of this report regarding whether the modification is 'substantially the same development' for the purposes of section 4.55.

This application consists of:

- A completed development application form; and
- PDF copy of this written statement, including plans and supporting documents.

1.2. Proponent

The proponent for the DA is Techspan Building Systems Pty Ltd.

1.3. Consultant

Barnson Pty Ltd

Jack Massey

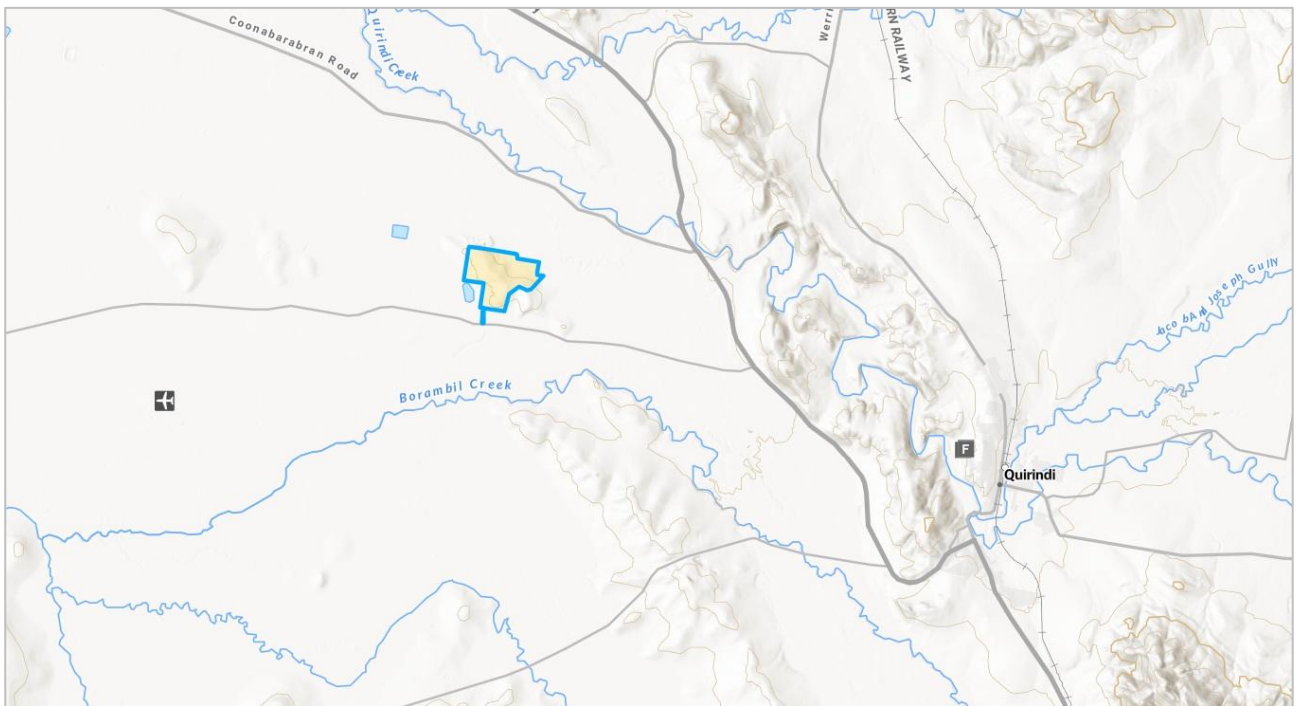
Suite 8 / 11 White Street

Tamworth NSW 2340

2. EXISTING ENVIRONMENT

2.1. Location and Title

The subject site of this application is Lot 57 DP 1228713, known as 293 Bundella Road, Quirindi. The site is located on the northern side of Bundella Road, approximately 14km north west of Quirindi as shown in **Figure 1** below.



Source: (NSW Government Spatial Services, 2025)

Figure 1 – Site Location

The site has an overall area of 99.55 hectares (refer to **Appendix A** of this report). The subject site has direct frontage to Bundella Road and contains a number of improvements associated with the feedlot operation on the site.

Refer to **Plates 1-2** and **Figure 2** below for images of the site and locality.



Source: (NSW Government Spatial Services, 2025)

Figure 2 – Site Aerial



Plate 1 – View of the main access to the site



Plate 2 – Internal view of the subject site

2.2. Land Use

The subject site has been utilised as a feedlot operation for an extended period of time, known as the Killara Feedlot. Killara Feedlot is a licenced beef cattle feedlot operated by Elders and has existed on the site for an extended period of time. The surrounding locality is dominated by agricultural land uses, predominately grazing and cropping operations, with scattered residential dwellings.

2.3. Topography

The subject site is relatively flat, with some undulating parts throughout.

2.4. Flora and Fauna

The site contains scattered tracts of vegetation throughout, however, is mostly disturbed due to the feedlot operations carried out.

2.5. Noise Environment

Measurements of noise background levels have not been undertaken on the site. The locality predominately consist of agricultural activities, farming operations and scattered dwellings, which are generally considered to be relatively low noise generated land uses.

2.6. Natural Hazards

The subject site is not mapped within a Flood Planning Area, however, is mapped as bushfire prone land. The site is mapped within the Vegetation Category 3 area, as shown in **Figure 3** below.

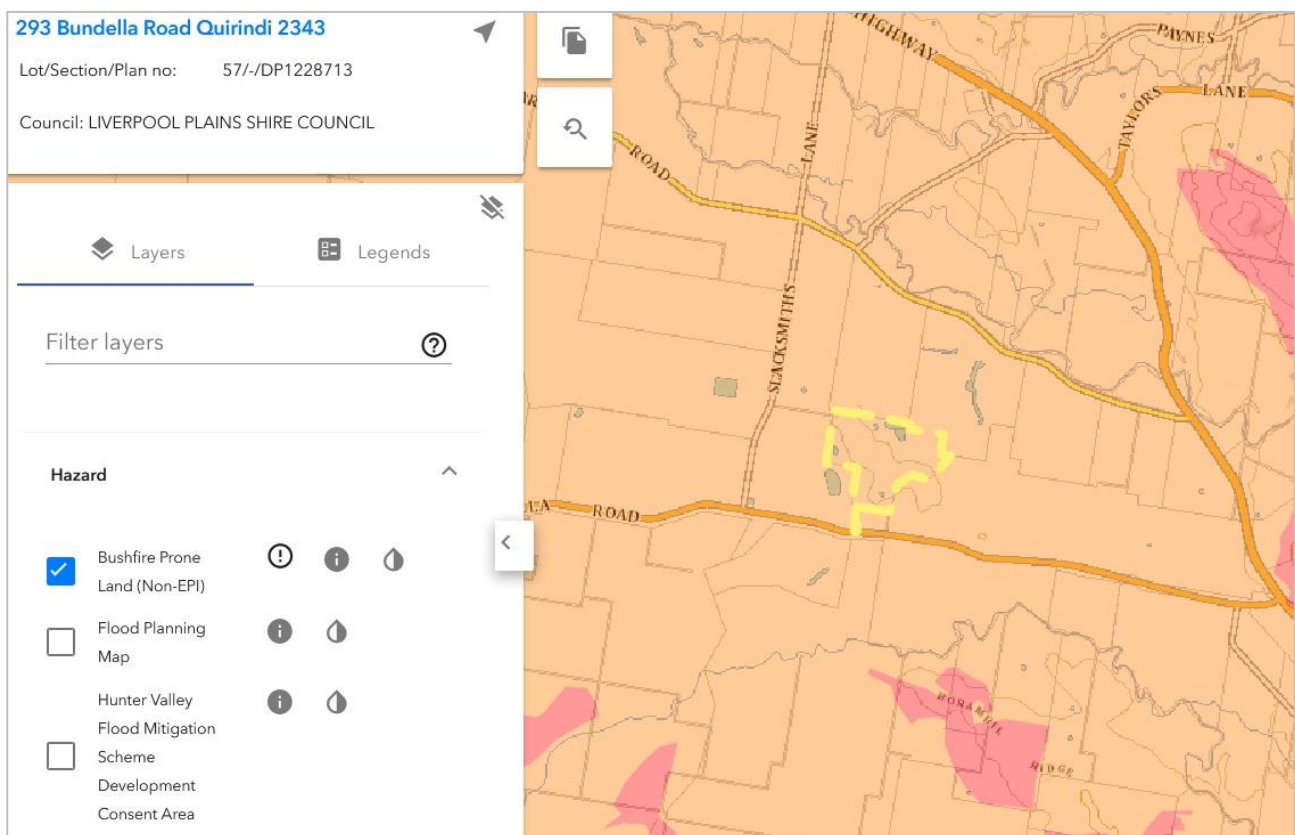


Figure 3 – Bushfire Prone Land Mapping

2.7. Services

The subject site is improved with electricity connections and onsite services such as water storage (tanks), onsite effluent management systems, telecommunications, solar and suitable road access.

2.8. Access and Traffic

Access to the site is gained off the northern side of Bundella Road. The existing access point and main driveway into the site has been established and used for an extended period of time.

There is also an access points off the southern side of Coonabarabran Road. The internal driveway off this access point is approximately 1400m in length and connected to the feedlot operation.

2.9. Heritage

The site is not mapped under the State Heritage Register or *Liverpool Plains Local Environmental Plan 2011* as containing a heritage listed item.

The Aboriginal Heritage Information Management System (AHIMS) search provided in **Appendix B** of this report confirms that the site does not contain any recorded aboriginal heritage items on the site or within proximity.

3. PROPOSED MODIFICATION

3.1. Existing Approvals

The report has been prepared to support a modification of the existing development consent DA 24/1987. The application has been prepared on the basis that Council, as consent authority, is satisfied that the modification may be assessed under section 4.55 of the EP&A Act. No opinion is expressed by the author of this report regarding whether the modification is 'substantially the same development' for the purposes of section 4.55.

There are numerous existing approvals and modifications to that existing DA for the existing operation. The feedlot currently has an approved use of 22,250 head of cattle and benefits from an Environmental Protection Licence (EPL 3966). There are a number of improvements throughout the site related to the historic approval and use.

3.2. Proposed Modification

The proposed modification to DA 24/1987 involves the construction of three (3) shade structures that form part of the Killara Feedlot operation at 293 Bundella Road, Quirindi. The site for the proposed development is wholly contained within the existing feedlot operations, in particular existing fenced areas supporting cattle enclosures. The intent of the proposed development works is to provide shade for the animals associated with the feedlot operation.

The proposed development includes the following main attributes:

- Demolition works including the removal of existing shade structures and improvements. These works are limited to the subject site only where the new structures are being positioned;
- Temporary removal of fencing as required, and reinstatement of fencing post construction of the shed structures;
- The shade structures are separated into three separate structures, as follows;
 - Row N – 420m x 30m wide;
 - Row O – 380m long x 30m wide;
 - Row P – 334m long x 30m wide.
- The structures are to be constructed using steel posts and steel roof framing with colorbond roofing. No walls are proposed for the structures. Given the slope of the land, each structure shall be stepped down to allow for the fall of the land;
- The proponents may choose to install some lighting fixed to the proposed shade structures to allow workers to work in a lit environment, as required. Any lighting shall comply with AS4282 *Control of Obtrusive Effects to Outdoor Lighting* or in accordance with Council's requirements;
- Erosion and sediment controls shall be implemented during construction and post construction. Minimal cut and fill is required as the structures are proposed to be positioned on concrete footings

with steel posts and stepped down along the full length. An erosion and sediment control plan shall be prepared as part of the Construction Certificate documentation.

Refer to Architectural designs in **Appendix C** of this report.

All existing staff numbers, stock rates, management practices, traffic generation, operational details, processing numbers and so on shall remain unchanged as part of this proposal.

It is understood that the proponent intends to stage the development. The staging would be as follows:

1. Demolition works within rows O and P and construction of Row O and P shade structures;
2. Demolition works within row N and construction of Row N shade structure;

If required, the above staging should be reflected in the conditions of consent to allow for the issue of separate Construction Certificates for the development works.

A Stormwater and effluent management analysis has been undertaken by Agricultural Development Services Australia Pty Ltd and is provided in **Appendix D** of this report. The analysis provided the following conclusions:

- The shelters partially cover the three existing rows of pens but there will be no changes to pen configuration or the Controlled Drainage Area (CDA);
- The covered area represents approximately 4% of the total CDA area;
- The existing pond sizing remains compliant as the total effluent holding pond capacity of 225ML (Ponds 1, 2, 3 and 4) far exceed the minimum requirements;
- The runoff/effluent generated is likely to be lower strength than normal feedlot effluent because rainfall is prevented from contacting manure. This will improve the long-term sustainability of the soils in the effluent utilisation area; and
- The discharge point of each downpipe should be reinforced with erosion control (i.e. rip rap) to prevent erosion in the earthen drains caused by concentrated stormwater velocity.

4. PERMISSIBILITY

The subject site is zoned RU1 Primary Production pursuant to the provisions under the *Liverpool Plains Local Environmental Plan 2011* (LEP). The existing operation on the site is defined as a *feedlot*, which is listed under the parent definition of *intensive livestock agriculture*. Both of which are permissible with consent in the RU1 zone. The LEP definitions are provided below.

feedlot means a confined or restricted area that is operated on a commercial basis to rear and fatten cattle, sheep or other animals, but does not include a poultry farm, dairy or pig farm.

Note—

Feedlots are a type of intensive livestock agriculture. Intensive livestock agriculture does not include extensive agriculture. See the definitions of those terms in this Dictionary.

intensive livestock agriculture means the keeping or breeding, for commercial purposes, of cattle, poultry, pigs, goats, horses, sheep or other livestock, and includes any of the following —

(a) dairies (restricted),

(b) feedlots,

(c) pig farms,

(d) poultry farms,

but does not include extensive agriculture, aquaculture or the operation of facilities for drought or similar emergency relief.

The existing feedlot is an approved facility and has been carried out on the site for an extended period of time. The proposed shade structures form an ancillary component of the facility, providing shade for the animals. Therefore, the development proposed is incidental/ancillary to the feedlot operation and shall support its ongoing use. No changes are proposed to the existing facility.

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, which incorporates consideration of the LEP, and the objectives and permissible uses outlined in the RU1 zone, as outlined in **Section 5** of this report.

5. PLANNING CONSIDERATIONS

5.1. Environmental Planning & Assessment Act 1979

5.1.1. Evaluation

Section 4.15 of the EP&A Act (as amended) requires the Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *The provisions of:*
 - (i) *any environmental planning instrument, and*
 - (ii) *any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*
 - (iii) *any development control plan, and*
 - (iv) *any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*
 - (v) *the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
 - (vi) *any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,*
- (b) *The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;*
- (c) *The suitability of the site for the development,*
- (d) *Any submissions made in accordance with this act or the regulations,*
- (e) *The public interest.*

The proposed development has been designed with consideration to the following matters, as outlined below.

5.1.2. Integrated Development

The proposed modification does not appear to trigger integrated development under the EP&A Act, as no additional approvals under other legislation (such as the Water Management Act 2000, the Protection of the Environment Operations Act 1997, or the Fisheries Management Act 1994) are required.

The modification involves the installation of shade structures over existing feedlot pens and does not alter the operational characteristics of the feedlot, increase stocking numbers, or change effluent management. As such, the consent authority can determine the application without referral to other agencies under the integrated development provisions.

5.1.3. Designated Development

The original feedlot development, approved under DA 24/1987, is designated development due to the scale of cattle (>1,000 head).

The proposed modification involves the installation of shade structures over existing pens. The modification does not increase the number of cattle, intensify the feedlot operation, or materially alter environmental impacts, including odour, dust, effluent, traffic, or noise.

Pursuant to the provisions under section 4.55 of the EP&A Act, the modification is considered part of the existing designated development and is assessed as such. The modification is assessed as a modification to the existing designated development. Clause 48 of the EP&A Regulation 2021 does not apply to modifications.

As the modification does not significantly alter the environmental impacts of the existing feedlot, it does not constitute a new designated development requiring a new Environmental Impact Statement (EIS).

5.2. Environmental Planning Instruments

5.2.1. State Environmental Planning Policy (Primary Production) 2021

Schedule 4, Part 3 of *State Environmental Planning Policy (Primary Production) 2021* provides controls relating to intensive livestock agriculture. The proposal is for the installation of shade structures within an existing approved feedlot. The works are ancillary to an established intensive livestock agricultural use and are designed to improve animal welfare by providing protection from heat stress.

The proposal does not increase the feedlot's capacity, operational footprint, or potential for off-site impacts relating to odour, noise, or water quality. The development is therefore consistent with the objectives of the SEPP to support sustainable primary production and rural industries.

5.2.2. Liverpool Plains Local Environmental Plan 2011

Permissibility

The subject site is zoned RU1 Primary Production pursuant to the *Liverpool Plains Local Environmental Plan 2011* (LEP). The objectives of the RU1 zone are:

- *To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.*
- *To encourage diversity in primary industry enterprises and systems appropriate for the area.*
- *To minimise the fragmentation and alienation of resource lands.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*

Comment: The proposed development is incidental/ancillary to an existing approved ‘feedlot’ operation, which is considered to be consistent with the zone objectives as it encourages diversity in primary industry for the area. It is permissible with consent in the RU1 zone.

Earthworks

Clause 7.1 Earthworks applies to the subject application as earthworks are required as part of development works. The site is relatively flat throughout. The proposed works require minimum earthworks. There shall be no disruption or detrimental effect on existing drainage patterns, soil stability or the like. Appropriate erosion and sediment control measures will be undertaken on the site during development works to prevent or reduce any soil erosion that would occur on the site.

Essential Services

Clause 7.4 Essential Services states:

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required—

- (a) the supply of water,*
- (b) the supply of electricity,*
- (c) the disposal and management of sewage,*
- (d) stormwater drainage or on-site conservation,*
- (e) suitable road access.*

Comment: The proposed development will be located within the established Killara feedlot operation, which is fully serviced with rainwater tanks for collection and reuse, electricity via overhead powerlines, onsite effluent management mechanisms, stormwater management and road access. The proposal will utilise existing services if required, however it is anticipated that all existing services afforded to the site shall remain as existing. Accordingly, the development satisfies Clause 7.4 as all necessary essential services are either currently available or will be made available to support the proposed development works.

5.3. Draft Environmental Planning Instruments

No draft Environmental Planning Instruments are applicable to the subject site or development.

5.4. Development Control Plans

The *Liverpool Plains Shire Council Development Control Plan 2012* (DCP) applies to the subject site and development thereon. There are no clear DCP provisions relevant to feedlots, and as such, a merits based assessment has been undertaken in **Table 1** below.

Table 1 – DCP Compliance Table

Provision	Comment
<i>Section 3.6 Industrial Development</i>	
Building Setbacks	The proposed development works are centrally located within the site and therefore comply with the minimum setbacks requirements under this part.
Traffic & Access	The existing traffic arrangements, including delivery/pickups, staffing numbers and the like shall remain unchanged as a result of the proposal development to what currently occurs on the site. As such, traffic impacts remain as existing, and it is considered that a traffic assessment is not required in this instance.
Utilities & Services	All existing utilities and services shall remain unchanged on the site. The proponent may choose to extend electricity infrastructure for the proposed shade structures, however this is not anticipated to have any impact on existing services on the site or the assessment of the subject application.
Design	The shade structures are a gable roof design with no walls. Materials shall consist of steel posts and roofing members with colorbond roofing. Colour schemes are yet to be chosen, however they shall be non-reflective and match existing improvements on the site as best as possible. The shade structures are unlikely to be viewed from the street frontage.
Fencing	Not applicable – All existing fencing shall remain unchanged with no additional fencing required.
Outdoor Lighting	The proponents may choose to install some lighting fixed to the proposed shade structures to allow workers to work in a lit environment, as required. Any lighting shall comply with <i>AS4282 Control of Obtrusive Effects to Outdoor Lighting</i> or in accordance with Council's requirements.
Outdoor Signage	Not applicable. Existing signage shall remain unchanged with no additional signage proposed.
Loading & Unloading Facilities	Existing loading and unloading arrangements carried out as part of the feedlot operation shall remain unchanged as a result of the proposed development works. The shade structures will not interfere with these existing arrangements.
Noise	Existing noise levels generated on the site shall remain unchanged as a result of the proposed development. Construction hours and noise limitations shall be kept to a minimum and in accordance with Council requirements.
Landscaping	Existing landscaping (scattered Eucalypt trees and bushes) between the site and Bundella Road shall remain as existing. No additional landscaping is considered necessary in this instance.

Parking	Existing parking arrangements shall be retained and are considered suitable for the continued use of the site. The proposed shade structures will not generate the requirement for additional spaces on the site.
<i>Section 3.7 Intensive Agriculture</i>	
Intensive Agriculture	<p>Section 3.7 of the DCP states:</p> <p><i>The development of any form of intensive agriculture shall have due regard to the applicable NSW Government Department of Primary Industries (DPI) Guidelines with regard to industry-specific farm management practices.</i></p> <p>The DPI Guidelines promote sustainability and best practices in agriculture, which includes livestock management. The Feedlot holds best management practices and licencing arrangements which ensures that the operation is undertaken in accordance with the DPI guidelines, specifically relating to infrastructure needs, animal welfare and the like. Given the feedlot has operated on the site for over 50 years and are subject to licencing requirements, it is considered that the operation has regard to the DPI guidelines, as stipulated under this part of the DCP.</p>
<i>Section 4.1 Other Types of Development Controls</i>	
Outdoor Lighting	The proponents may choose to install some lighting fixed to the proposed shade structures to allow workers to work in a lit environment, as required. Any lighting shall comply with AS 4282 <i>Control of Obtrusive Effects to Outdoor Lighting</i> or in accordance with Council's requirements.
Parking	Existing parking arrangements shall be retained and are considered suitable for the continued use of the site. The proposed shade structures will not generate the requirement for additional spaces on the site.
Landscaping	Existing landscaping (scattered Eucalypt trees and bushes) between the site and Bundella Road shall remain as existing. No additional landscaping is considered necessary in this instance.
<i>Section 4.2 Environmental Controls</i>	
Environmental Effects	Environmental effects have been addressed throughout this Statement of Environmental Effects, where applicable.
Erosion and Sediment Controls	Erosion and sediment controls shall be implemented during construction and post construction. Minimal cut and fill is required as the structures are proposed to be positioned on concrete footings with steel posts and stepped down along the full length. An erosion and sediment control plan shall be prepared as part of the Construction Certificate documentation.
Land Use Buffers	The feedlot operation is positioned within an isolated area, with no immediate towns, villages, dwellings are sensitive land uses within proximity. As such, land

	use conflict is minimal and no additional protection measures are considered necessary in this instance.
OSMS	Existing OSMS systems on the site shall continue to be utilised. No new systems are required by the proposed development.
Waste Management	Existing waste storage and collection arrangements shall continue to be utilised.
Stormwater Management	All roof water/stormwater generated on the site and by the proposed shade structures shall be appropriately managed within the boundaries of the subject site.
Noise	Existing noise levels generated on the site shall remain unchanged as a result of the proposed development. Construction hours and noise limitations shall be kept to a minimum and in accordance with Council requirements.
Geology	A soil investigation shall be carried out as part of the preparation of the Construction Certificate documentation. Soils appear to be stable based on site visits and the performance of existing structures on the site.
Vegetation Management & Biodiversity	No clearing of native vegetation is triggered as part of the proposed development works as the site is devoid of vegetation.

5.5. Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

5.6. Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 92 of the *Environmental Planning and Assessment Regulations 2000* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. There shall be demolition works required to enable the development to proceed, which should be carried out in accordance with AS 2601-2001.

5.7. Any Likely Impacts of the Development

5.7.1. Context & Setting

The subject site is located within a rural area which is predominately characterised by rural activities, farming operations and scattered dwellings. The subject site has been used as a feedlot for over 50 years and is

suitable located and compatible within the existing use and context of the site and locality. The location of the proposed development compliments the existing Killara operation and is positioned within existing feedlot enclosure areas. In this regard, it is considered that the proposed development is consistent with the existing locality. The development would therefore not impact on the context or setting in the locality.

5.7.2. Access, Transport & Traffic

Access to the site shall continue to be gained via the existing access arrangements off Bundella Road. The existing parking and access arrangements are considered acceptable. There shall be no additional traffic impacts generated on the site or within proximity as a result of the proposed development.

5.7.3. Utilities

All services including existing rainwater tanks, onsite effluent management, electricity, stormwater management and telecommunications are connected to the site. No changes are anticipated to the existing utilities on the site. However, if required, this shall be carried out in accordance with Council's requirements.

5.7.4. Air & Microclimate

The incidence of air pollution can be reduced by using appropriate equipment; employment of good work practice and utilising a water spray, especially in conditions where dust is likely to be a nuisance.

5.7.5. Waste

The feedlot operation utilises existing waste management procedures suitable for its use. There shall be some construction waste generated as part of the proposed development works. Skip bin storage shall be provided during construction or as required by Council.

5.7.6. Noise

The proposed construction works will generate some noise impacts in the locality. The likelihood of noise becoming offensive can be minimised by adopting good work practise and adhering to construction hours as required by Council.

5.7.7. Social & Economic Impacts in the Locality

The proposal is considered to be an appropriate use of the site in a suitable location. The proposed development will provide for employment opportunities during construction and is anticipated to provide a positive social and economic impact for the area.

5.7.8. Construction

A site establishment area can be set up within the subject site to ensure site safety is enforced and to minimise environmental impact. Erosion and sediment controls shall be carried out on the site during development works.

5.7.9. Other

There are no other issues such as flooding or heritage that would significantly impact upon the development.

5.8. Suitability of the Site for the Proposed Development

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality, and the site attributes are conducive for the development.

5.9. The Public Interest

The proposed development is considered to be in the public interest as it supports an existing, well established business and food producer in the area. As outlined throughout this report the development is consistent with the land zone objectives and is not expected to have any adverse off-site impacts.

6. CONCLUSION

It is recommended that the proposed modification to DA 24/1987 on Lot 57 DP 1228713, known as 293 Bundella Road, Quirindi be supported on the following grounds:

- The application has been prepared on the basis that Council, as consent authority, is satisfied that the modification may be assessed under section 4.55 of the EP&A Act;
- The proposal remains permissible with consent and consistent with the relevant development standards and provisions of the *Liverpool Plains Local Environmental Plan 2011*; and
- The proposal as modified complies with the relevant provisions of the *Liverpool Plains Development Control Plan 2012*.

7. REFERENCES

- NSW Government. (2025, September 29). *Biodiversity Value Map*. Retrieved from <https://www.lmbc.nsw.gov.au/Maps/index.html?viewer=BVMap>
- NSW Government Spatial Services. (2025, September 29). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>
- NSW Rural Fire Service. (2019). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.



APPENDIX A

Title and Deposited Plan



LAND
REGISTRY
SERVICES

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 57/1228713

SEARCH DATE	TIME	EDITION NO	DATE
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25/6/2025	10:04 AM	2	31/8/2020

LAND

LOT 57 IN DEPOSITED PLAN 1228713
AT QUIRINDI
LOCAL GOVERNMENT AREA LIVERPOOL PLAINS
PARISH OF BORAMBIL COUNTY OF BUCKLAND
TITLE DIAGRAM DP1228713

FIRST SCHEDULE

KILLARA FEEDLOT PTY LIMITED (T AQ356091)
SECOND SCHEDULE (4 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 LAND EXCLUDES MINERALS WITHIN THE PART(S) SHOWN SO INDICATED IN THE TITLE DIAGRAM - SEE CROWN GRANT(S)
- 3 DP1144673 RIGHT OF CARRIAGEWAY 20 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 4 DP1144673 EASEMENT FOR IRRIGATION PIPE 8 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM

NOTATIONS

NOTE: THIS FOLIO MAY BE ASSOCIATED WITH A CROWN TENURE WHICH IS
SUBJECT TO PAYMENT OF AN ANNUAL RENT. FOR FURTHER DETAILS CONTACT
CROWN LANDS.

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

Barnson Pty Ltd (Mudgee)

PRINTED ON 25/6/2025

* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title.
Warning: the information appearing under notations has not been formally recorded in the Register.

DYE & DURHAM TERRAIN PTY LTD - hereby certifies that the information contained in this document has been
provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act
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<https://dyedurhamterrain.com/> an approved NSW Information Broker

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- (A) RIGHT OF CARRIAGEWAY 20 WIDE.... DP 1144673
(B) EASEMENT FOR IRRIGATION PIPE 8 WIDE
.... DP 1144673
(X) LAND EXCLUDES MINERALS - SEE CROWN GRANT(S)
PO REFERS TO DP 839737
PO1 REFERS TO DP 1144673

NOTE

Fencing that is not shown as new, old & very old is estimated to be of an age between 5 and 30 years.

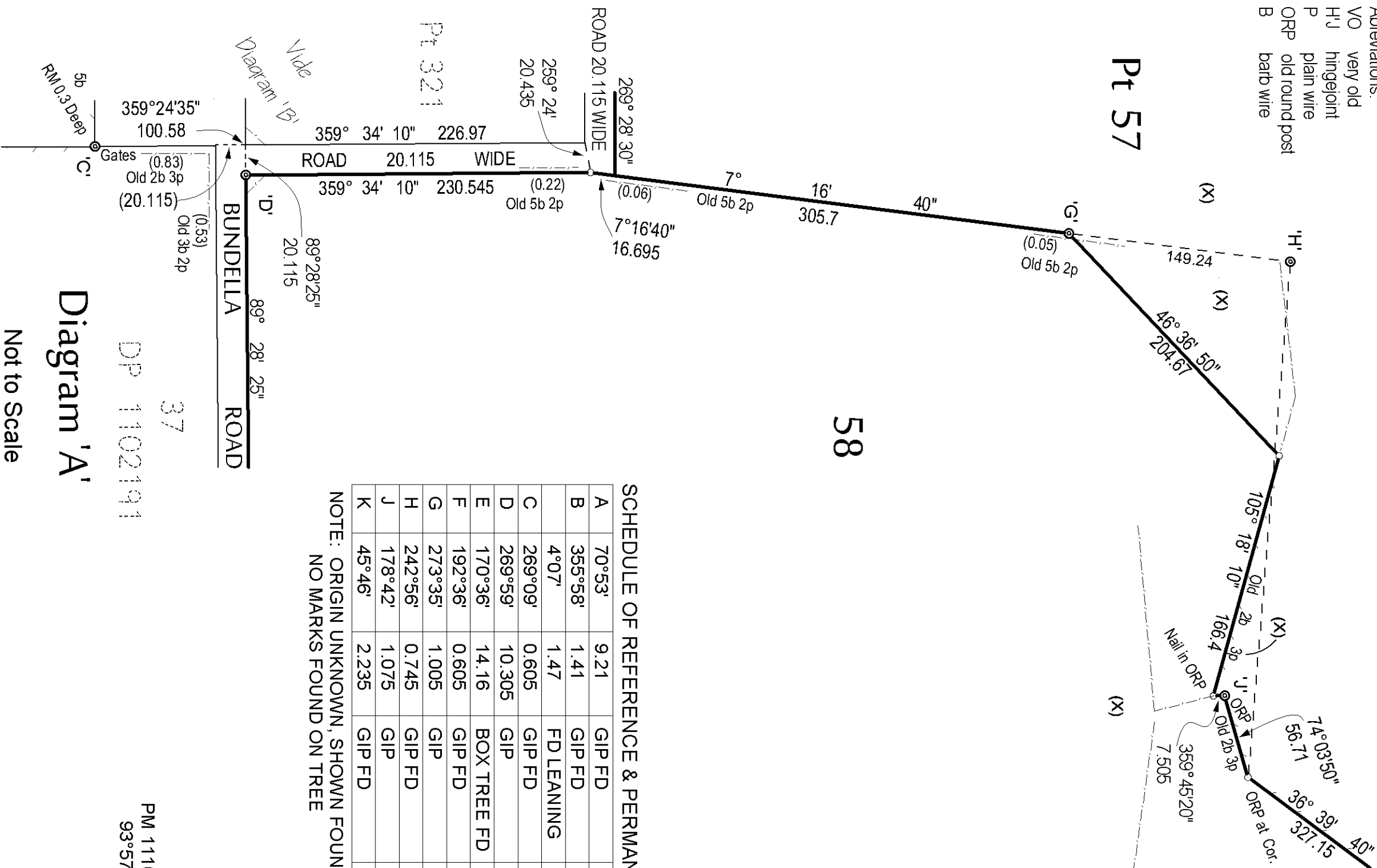
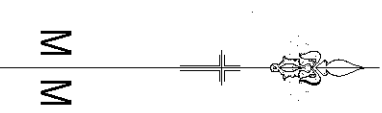
Abbreviations:

- VO very old
HU hingejoint
P plain wire
ORP old round post
B barb wire

SURVEYING & SPATIAL INFORMATION REGULATION 2012 CLAUSE 61(2) & 35(1)(b)					
MARK	M.G.A. CO-ORDINATES		ZONE	CLASS	ORDER
	EASTING	NORTHING			
PM 111098	269 916	6 514 398	56	U	U
PM 111099	270 291.367	6 514 324.796	56	A	2
			SCIMS		

COMBINED SCALE FACTOR: 1.000193

MGA COORDINATES ADOPTED FROM SCIMS AT 11.8.2016



SCHEDULE OF REFERENCE & PERMANENT MARKS				
A	70°53'	9.21	GIP FD	DP 1144673
B	355°58'	1.41	GIP FD	BY ME
C	4°07'	1.47	FD LEANING	DP 1144673
D	269°09'	0.605	GIP FD	DP 188110
E	170°36'	14.16	BOX TREE FD	Vide Note
F	192°36'	0.605	GIP FD	R26751
G	273°35'	1.005	GIP	
H	242°56'	0.745	GIP FD	DP 839737
J	178°42'	1.075	GIP	
K	45°46'	2.235	GIP FD	DP 839737

NOTE: ORIGIN UNKNOWN, SHOWN FOUND IN R26751
NO MARKS FOUND ON TREE

PM 111099 - PM 111098
93°57'33" 389.187

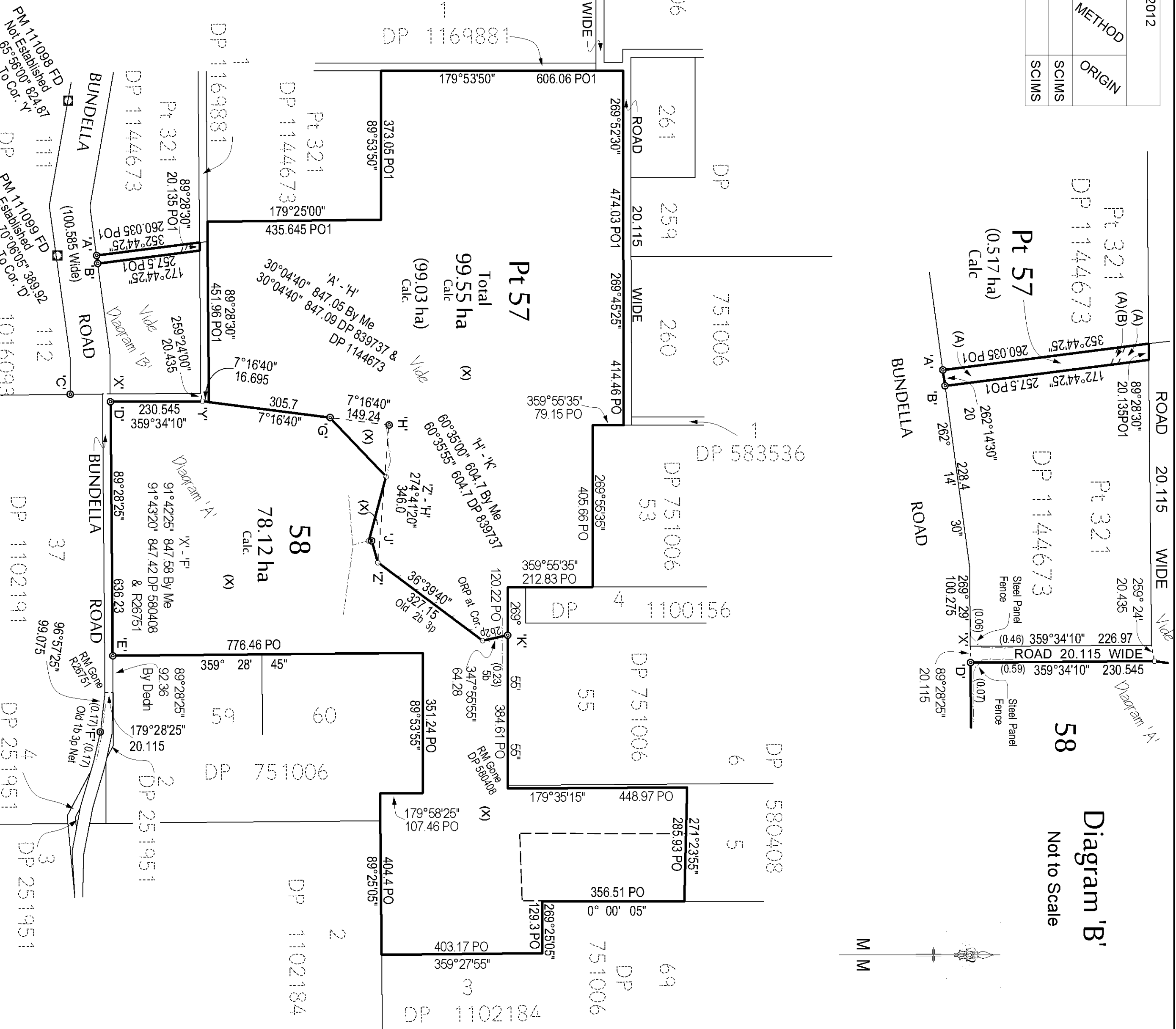


Diagram 'A'
DP 1102191
Not to Scale

Diagram 'B'
Not to Scale

Datum Line: 'A' - 'H' DP 839737 & DP 1144673

Surveyor: DAVID ANDREW LORD
Surveyor's Ref: 16256
Date of Survey: 2.11.2016

PLAN OF SUBDIVISION OF LOT 322
IN DP 1144673 & LOT 2 IN DP 839737

LGA: LIVERPOOL PLAINS
Locality: QUIRINDI
Subdivision Certificate No: 1/2019
Lengths are in metres. Reduction Ratio 1:8000

Registered:
31.10.2019

DP1228713

PLAN FORM 6 (2012)

WARNING: Creasing or folding will lead to rejection

ePlan

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 2 sheet(s)

Registered:



31.10.2019

Office Use Only

Office Use Only

Title System: TORRENS

Purpose: SUBDIVISION

**PLAN OF SUBDIVISION OF LOT 322 IN
DP 1144673 & LOT 2 IN DP 839737**

DP1228713

LGA: LIVERPOOL PLAINS

Locality: QUIRINDI

Parish: BORAMBIL

County: BUCKLAND

Crown Lands NSW/Western Lands Office Approval

I, (Authorised Officer) in
approving this plan certify that all necessary approvals in regard to the
allocation of the land shown herein have been given.

Signature:

Date:

File Number:

Office:

Survey Certificate

I, **DAVID ANDREW LORD**

of **Bath Stewart Associates Pty Limited**

PO Box 403 Tamworth NSW 2340 (Tel: 02 67665966)

a surveyor registered under the *Surveying and Spatial Information Act*
2002, certify that:

~~*(a) The land shown in the plan was surveyed in accordance with the~~
~~*Surveying and Spatial Information Regulation 2012*, is accurate~~
~~and the survey was completed on 3RD May 2013~~

~~*(b) The part of the land shown in the plan being the boundary lines~~
~~between the terminals notated 'D' & 'K' & connections were~~
~~surveyed in accordance with the *Surveying and Spatial Information*~~
~~*Regulation 2012*, is accurate and the survey was completed on~~
~~2.11.2016.~~

~~*(c) The land shown in this plan was compiled in accordance with the~~
~~*Surveying and Spatial Information Regulation 2012*.~~

Signature:  Dated: 1.2.2017

Surveyor ID: 1491

Datum Line: 'A' - 'H' ~~DP 839737 & DP 839737~~
~~DP 839737 & DP 1144673~~

Type: *Urban/*Rural

The terrain is *Level-Undulating / *Steep-Mountainous.

*Strike through if inapplicable.

*Specify the land actually surveyed or specify any land shown in the plan that
is not the subject of the survey.

Subdivision Certificate

I, **DONNA AUSLING**
*Authorised Person/*General Manager/*Accredited Certifier, certify that
the provisions of s.109J of the *Environmental Planning and*
Assessment Act 1979 have been satisfied in relation to the proposed
subdivision, new road or reserve set out herein.

Signature: 

Accreditation number: **N/A**

Consent Authority: LIVERPOOL PLAINS

Date of endorsement: **7 January 2019**

Subdivision Certificate number: **1/2019**

File number: **DA 75/2017 & DA 75/2017-02**

*Strike through if inapplicable.

Statements of intention to dedicate public roads, public reserves and
drainage reserves.

Plans used in the preparation of survey/compilation.

DP 188110
DP 580408
DP 839737
DP 1144673
R26751

If space is insufficient continue on PLAN FORM 6A

Signatures, Seals and Section 88B Statements should appear on
PLAN FORM 6A

Surveyor's Reference: 16256

PLAN FORM 6A (2012)

WARNING: Creasing or folding will lead to rejection

ePlan

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 2 Sheet(s)

Registered:



31.10.2019

Office Use Only

Office Use Only

PLAN OF SUBDIVISION OF LOT 322 IN
DP 1144673 & LOT 2 IN DP 839737

DP1228713

Subdivision Certificate number:1/2019.....

Date of Endorsement:7 January 2019.....

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses - See 60(c) *SSI Regulation 2012*
- Statements of intention to create and release affecting interests in accordance with section 88B *Conveyancing Act 1919*
- Signatures and seals- see 195D *Conveyancing Act 1919*
- Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Lot	Street Number	Street Name	Street Type	Locality
57	NA	BUNDELLA	ROAD	QUIRINDI
58	NA	BUNDELLA	ROAD	QUIRINDI

THOMAS ROBERT MCINNES

Executed by **KILLARA FEEDLOT PTY LIMITED**
ACN 081 072 746 by its authorised officers
Pursuant to Section 127 of the Corporations Act 2001

RICHARD IAN DAVEY (Director)

PETER GORDON HASTINGS (Secretary)

If space is insufficient use additional annexure sheet

Surveyor's Reference: 16256

APPENDIX B
AHIMS Search

Barnson

Date: 14 October 2025

Suite 6 11 White Street
Tamworth New South Wales 2340

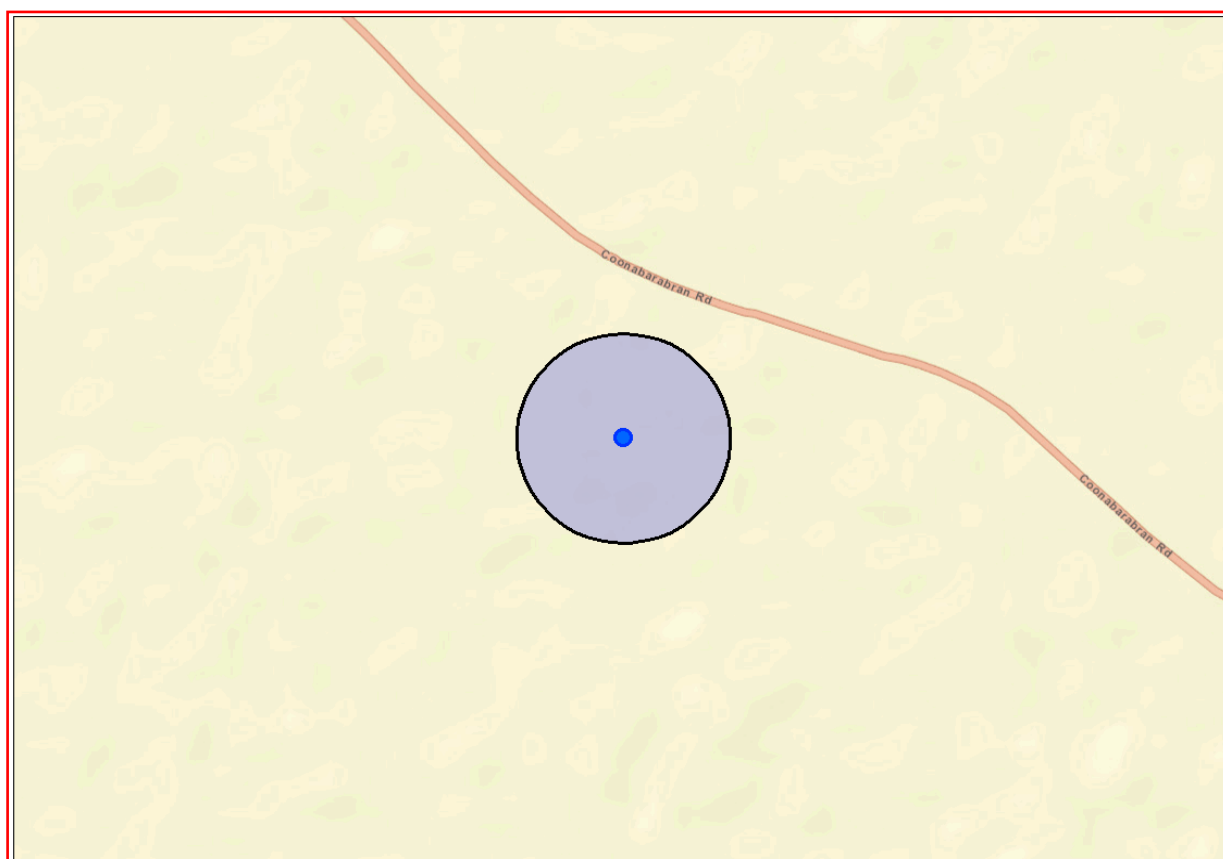
Attention: Jack Massey

Email: jmassey@barnson.com.au

Dear Sir or Madam:

AHIMS Web Service search for the following area at Address : 293 BUNDELLA ROAD QUIRINDI 2343 with a Buffer of 200 meters, conducted by Jack Massey on 14 October 2025.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

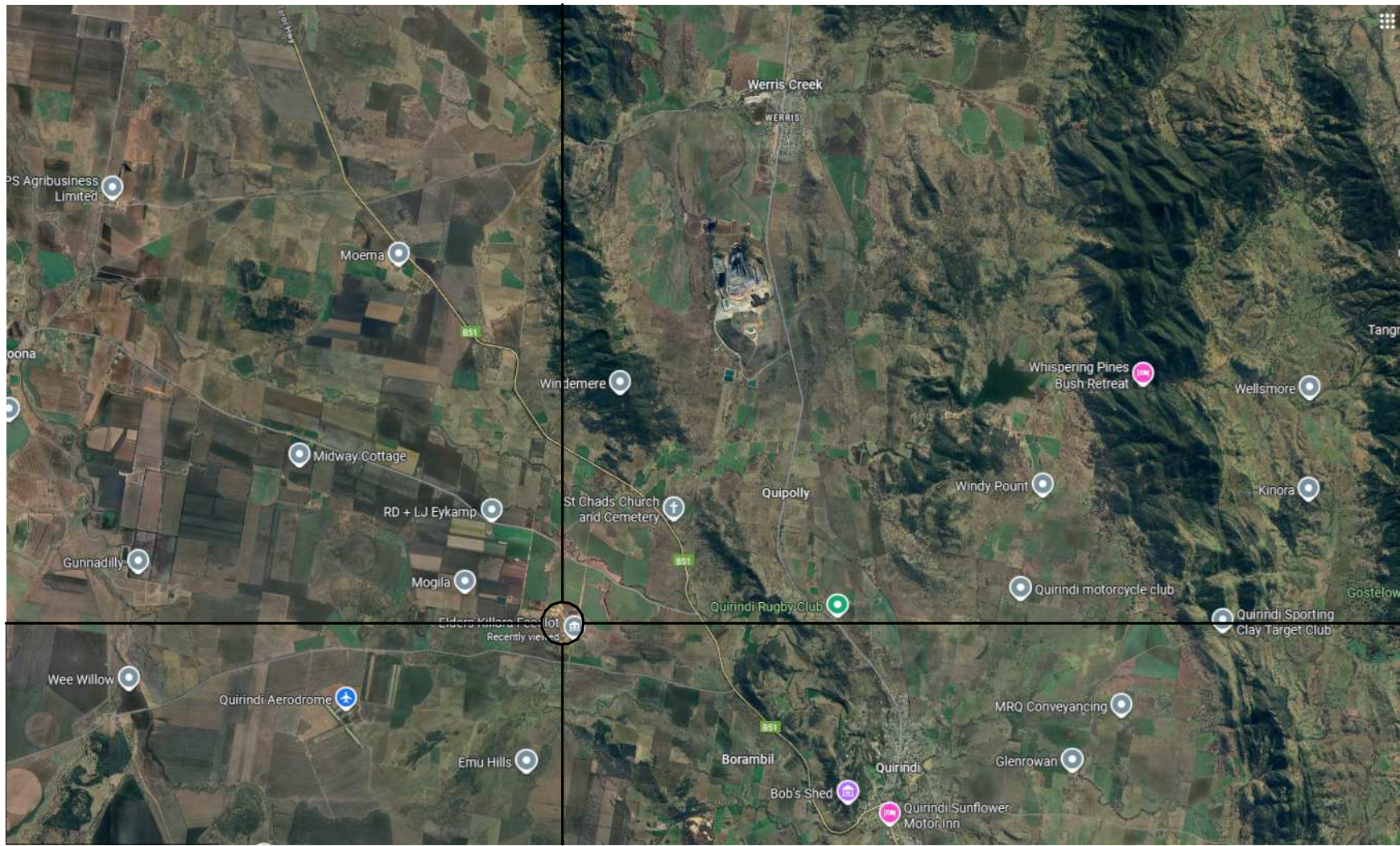
- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

APPENDIX C

Development Plans



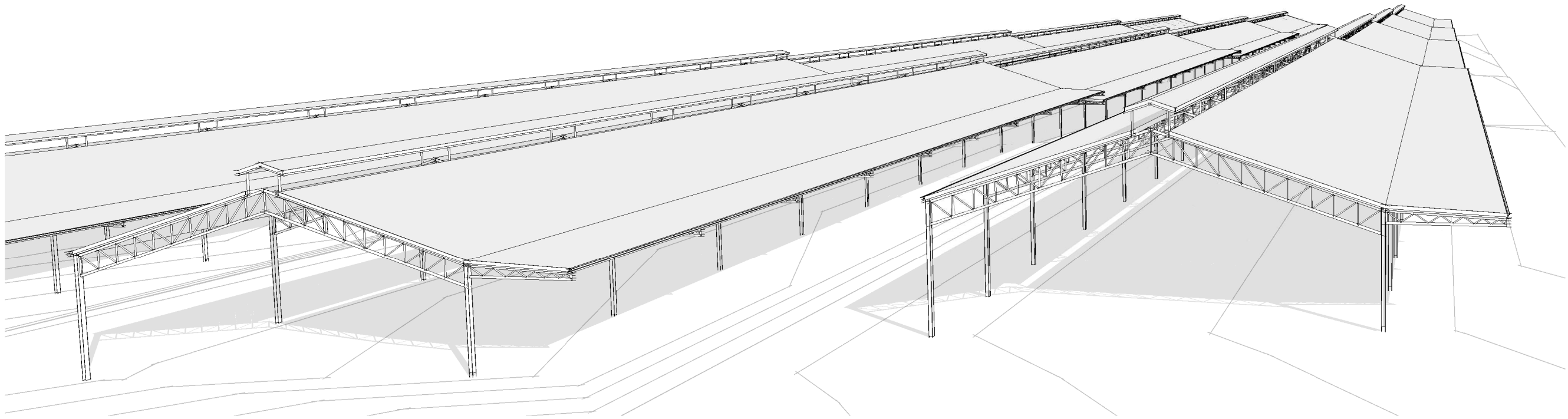
SITE LOCATION

google.com/maps

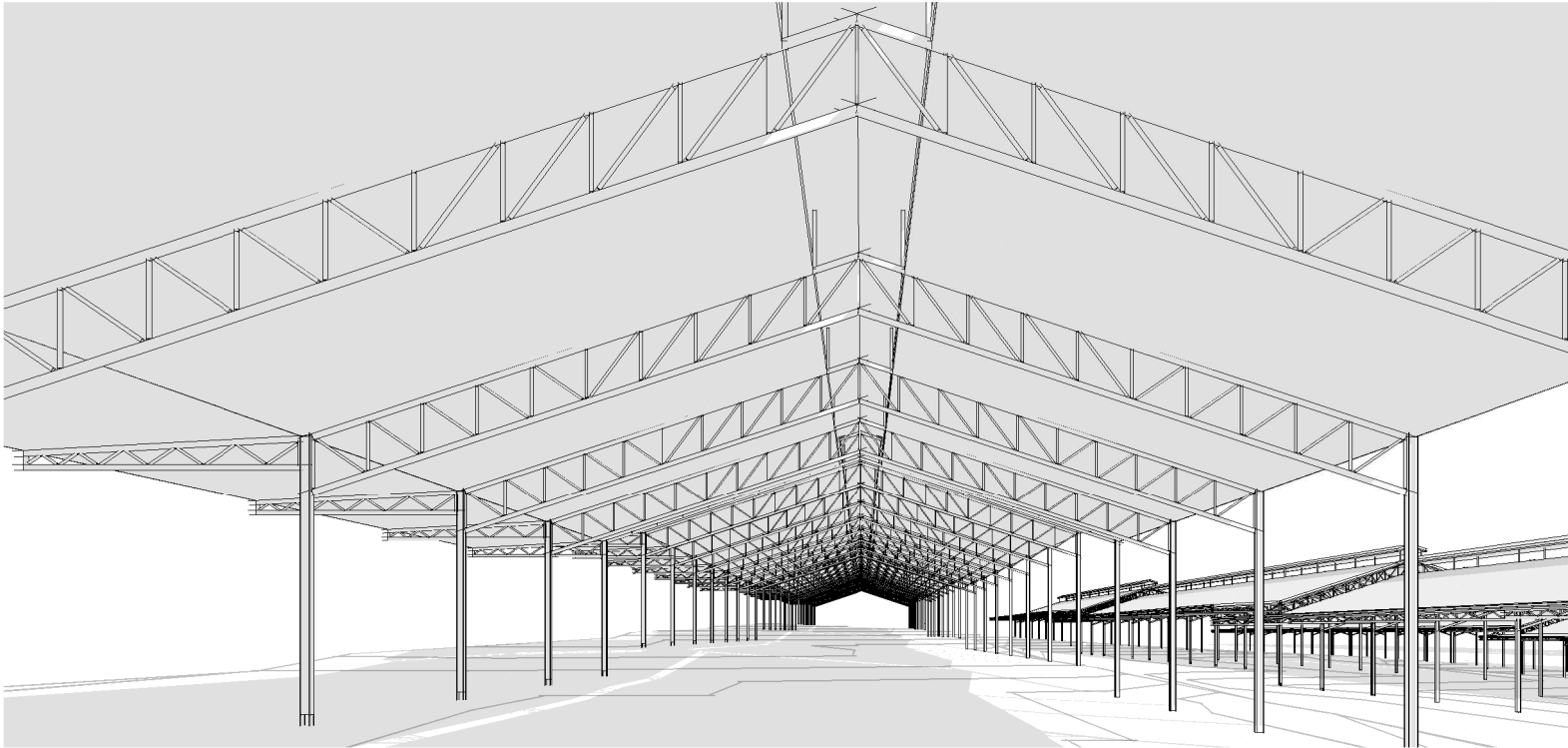
SCHEDULE OF DRAWINGS		
SHEET NAME	SHEET NUMBER	Current Revision
SITE INFORMATION	A000	3
SITE PLAN	A001	3
DEMOLITION PLAN	A002	3
ROOF PLAN	A003	3
SHELTER P - BASE LAYOUT PLAN	A004	3
SHELTER O - BASE LAYOUT PLAN	A005	3
SHELTER N - BASE LAYOUT PLAN	A006	3
ELEVATIONS	A007	3
ELEVATIONS	A008	3
ELEVATIONS	A009	3
ELEVATIONS	A010	3
ELEVATIONS	A011	3
ELEVATIONS	A012	3
SECTIONS	A013	3

SITE DETAILS	
SITE AREA:	98 Ha
LEP ZONING:	RU1 PRIMARY PRODUCTION
LOCAL GOVERNMENT AREA:	LIVERPOOL PLAINS SHIRE COUNCIL
DEVELOPMENT TYPE:	PROPOSED ANIMAL SHELTERS
BUILDING CLASSIFICATION:	CLASS 10
WIND CLASSIFICATION:	N3 SITE CLASSIFICATION TO AS 4055-2021
SOIL CLASSIFICATION:	REFER TO ENG. DETAILS
CLIMATE ZONE:	4 (WWW.ABCB.GOV.AU MAP)
BUSHFIRE PRONE LAND:	AREAS OF BUSHFIRE PRONE VEGETATION
OTHER CONTROLS:	N/A

PROPOSED ANIMAL SHELTERS (ROW P, ROW O + ROW N)



SOUTH VIEW



NORTH VIEW (ROW P)

LEGEND			
T	TELSTRA PIT		DESIGN SURFACE LEVEL
E	ELECTRICAL PIT		AUST HEIGHT DATUM LEVEL
WM	WATER METER		STORMWATER DRAINAGE
PP	POWER POLE		SEWER
	DOWNPIPE		WATER
SWP	STORMWATER PIT		TELSTRA
SMH	SEWER ACCESS CHAMBER		OPTIC FIBRE
KIP	KERB INLET PIT		ELECTRICAL
H	HYDRANT		OVERHEAD POWER
LB	LETTER BOX		GAS LINE
LP	LIGHT POLE		EXISTING STORMWATER
GAS	GAS PIT		EXISTING SEWER
---	HOLDING PEN FENCE		
---10000---	APPROX. SURFACE CONTOUR		



SITE PLAN

1 : 4000

SITE NOTES

ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022 Amdt 1), COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS & CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.

ALL SURFACE WATER TO FALL AWAY FROM BUILDING IN ALL DIRECTIONS IN ACCORDANCE WITH REQUIREMENTS OF AS2870 + NCC HP PART 3.3.3

DOWNPIPES TO BE CONNECTED INTO STORMWATER AS SOON AS THE ROOF IS INSTALLED.

DOWNPIPES SHOULD BE AT A MAXIMUM OF 12 METER CENTRES + AS CLOSE TO VALLEYS AS POSSIBLE AND IN ACCORDANCE WITH NCC HP PART 7.4 + NCC VOL. 3

EXCAVATED MATERIAL STORED ON SITE SHALL BE PLACED UP-SLOPE OF SEDIMENT FENCE. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL.

CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET, TO PREVENT TRANSFERRING DEBRIS ONTO STREET. UNLESS ALTERNATIVE SEDIMENT TRANSFER REDUCTION METHODS ARE IN PLACE

ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.

PROPOSED ANIMAL SHELTERS

PINE RIDGE ROAD, QUIRINDI

KILLARA FEEDLOT

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SCALE As indicated

DATE 16/11/2025

DRAWN SAE

DESIGNED SAE

REVISION	DESCRIPTION
1	PRELIMINARY ISSUE
2	FOR DA SUBMISSION
3	DA REVISION (ROW N)

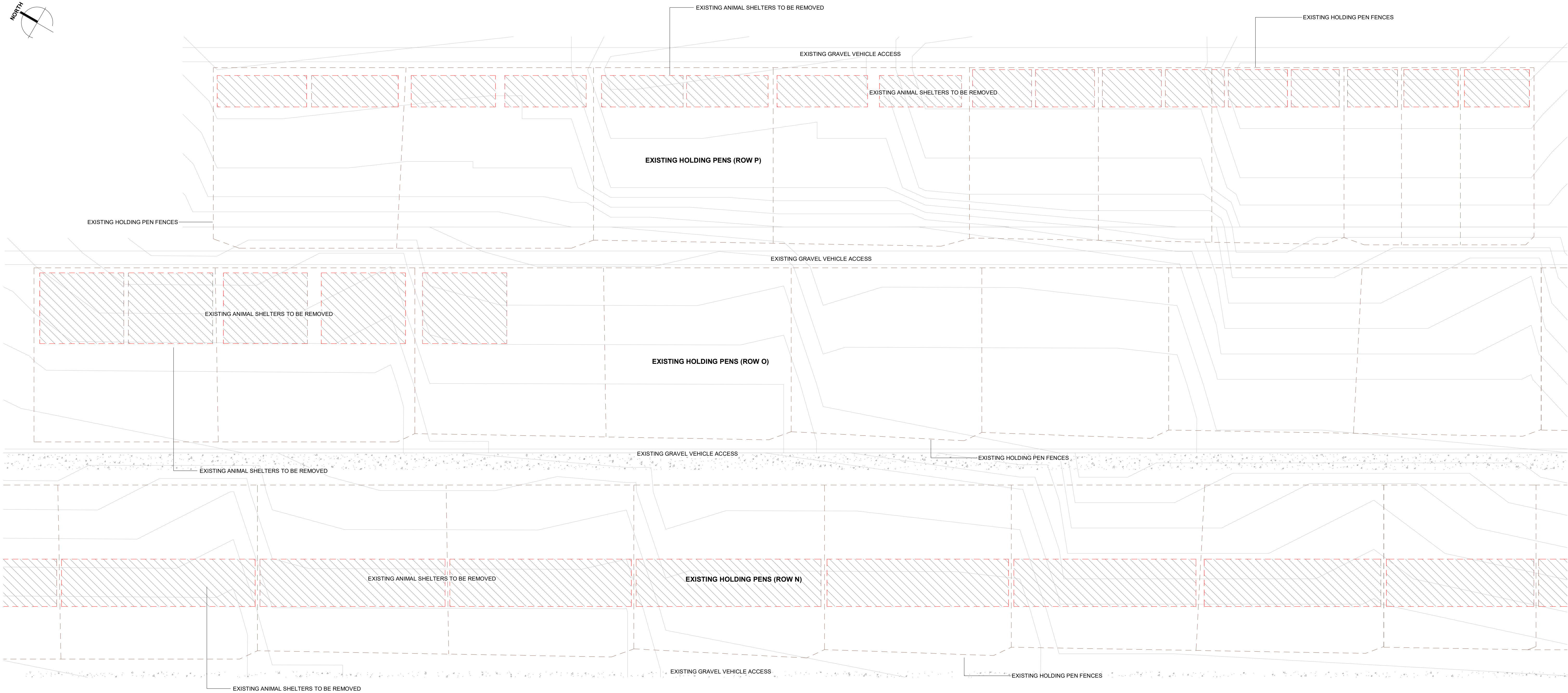
DATE
29/05/2025
10/10/2025
16/11/2025

PROJECT No.

1267-25

SHEET

A001



DEMOLITION PLAN

1 : 500

DEMOLITION NOTES:			
DEMOLITION WORKS SHALL BE CARRIED OUT IN BEST PRACTICE AND IN ACCORDANCE WITH AS 2601-2001, THE DEMOLITION OF STRUCTURES, LOCAL BUILDING & HEALTH REGULATIONS & TO THE GENERAL SATISFACTION OF THE AUTHORITIES HAVING JURISDICTION OVER THE WORKS.		THE OWNER SHALL NOT ENGAGE OR EMPLOY ANY TRADESPERSON, TRADE CONTRACTOR OR ANY OTHER PERSON TO WORK ON THE SITE WITHOUT THE CONSENT OF THE CONTRACTOR.	
THE CONTRACTOR SHALL COMPLETE THE WORKS ACCORDING TO THE TRUE INTENT OF THE APPROVED DRAWINGS & THE SPECIFICATION.		MAKE GOOD THE EXIST STRUCTURE, FINISH ETC AS REQUIRED WHERE EFFECTED BY THE NEW WORKS. CAP OFF, ALTER ETC AS REQUIRED, EXISTING SERVICE LINES.	
DRAWING DIMENSIONS TO BE CONFIRMED ON SITE.		TEMPORARY STRUCTURES MUST BE STABLE AND RESISTANT TO ACTIONS AND MUST AVOID CAUSING DAMAGE TO OTHER BUILDINGS. PERSONS MUST BE SAFEGUARDED FROM PHYSICAL INJURY IF STRUCTURE FAILURE OCCURS.	
ESSENTIAL SERVICES TO BE DISCONNECTED BY LICENSED TRADES		NO STRUCTURES TO BE REMOVED FROM SITE AND PLACED ON OTHER SITES	
SEDIMENT & EROSION CONTROL TO BE ERECTED ON-SITE (REFER SEDIMENT EROSION CONTROL PLAN)		NO STRUCTURES ARE WITHIN 900MM OF BOUNDARIES	

PROPOSED ANIMAL SHELTERS

PINE RIDGE ROAD, QUIRINDI
KILLARA FEEDLOT

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SCALE As indicated

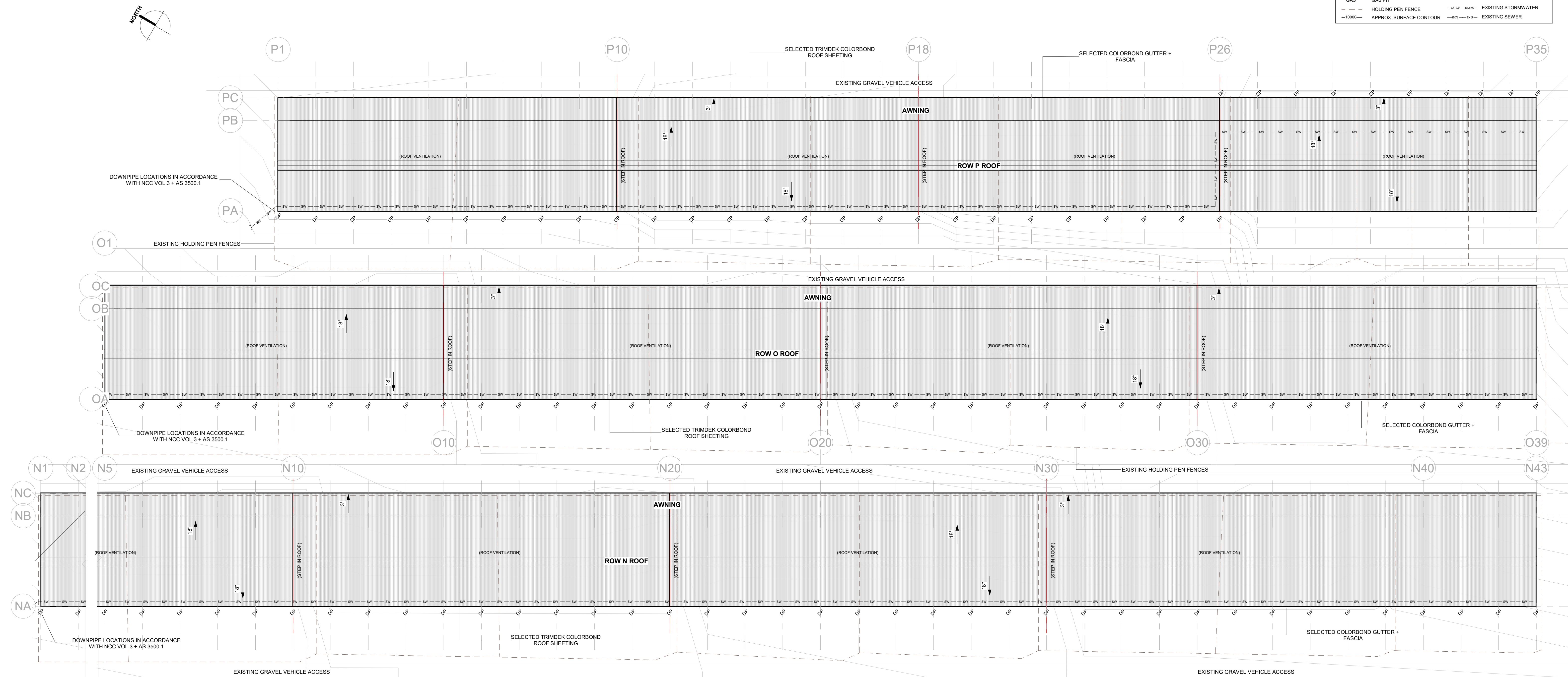
DATE 16/11/2025
DRAWN SAE
DESIGNED SAE

REVISION	DESCRIPTION
1	PRELIMINARY ISSUE
2	FOR DA SUBMISSION
3	DA REVISION (ROW N)

DATE
29/05/2025
10/10/2025
16/11/2025

PROJECT No.
1267-25
SHEET
A002

LEGEND		
T	TELSTRA PIT	DESIGN SURFACE LEVEL
E	ELECTRICAL PIT	AHD 400
WM	WATER METER	— SW — SW —
PP	POWER POLE	— SW — SW —
DP	DOWNPIPE	— S — S —
SWP	STORMWATER PIT	— W — W —
SMH	SEWER ACCESS CHAMBER	— T — T —
KIP	KERB INLET PIT	— OPT — OPT —
H	HYDRANT	— E — E —
LB	LETTER BOX	— OHP — OHP —
LP	LIGHT POLE	— E — E —
GAS	GAS PIT	— OHP — OHP —
---	HOLDING PEN FENCE	— GS — GS —
-10000-	APPROX. SURFACE CONTOUR	— EX SW — EX SW —
		— EX S — EX S —



ROOF PLAN

1:500

ROOF AREAS		
Name	Area	Comments
ROW N AWNING	2521.2 m ²	
ROW N ROOF	10084.9 m ²	
ROW O AWNING	2281.2 m ²	
ROW O ROOF	9124.9 m ²	
ROW P AWNING	2005.2 m ²	
ROW P ROOF	8021.1 m ²	
TOTAL	34038.6 m ²	

SITE NOTES

ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022 Am11), COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS & CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.

ALL SURFACE WATER TO FALL AWAY FROM BUILDING IN ALL DIRECTIONS IN ACCORDANCE WITH REQUIREMENTS OF AS2870 + NCC HP PART 3.3.3

DOWNPIPES TO BE CONNECTED INTO STORMWATER AS SOON AS THE ROOF IS INSTALLED.

DOWNPIPES SHOULD BE AT A MAXIMUM OF 12 METER CENTRES + AS CLOSE TO VALLEYS AS POSSIBLE AND IN ACCORDANCE WITH NCC HP PART 7.4 + NCC VOL. 3

EXCAVATED MATERIAL STORED ON SITE SHALL BE PLACED UP-SLOPE OF SEDIMENT FENCE. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL.

CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET, TO PREVENT TRANSFERRING DEBRIS ONTO STREET. UNLESS ALTERNATIVE SEDIMENT TRANSFER REDUCTION METHODS ARE IN PLACE

ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.

PROPOSED ANIMAL SHELTERS

PINE RIDGE ROAD, QUIRINDI

KILLARA FEEDLOT

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SCALE As indicated

DATE 16/11/2025

DRAWN SAE

DESIGNED SAE

REVISION	DESCRIPTION
1	PRELIMINARY ISSUE
2	FOR DA SUBMISSION
3	DA REVISION (ROW N)

DATE

29/05/2025

10/10/2025

16/11/2025

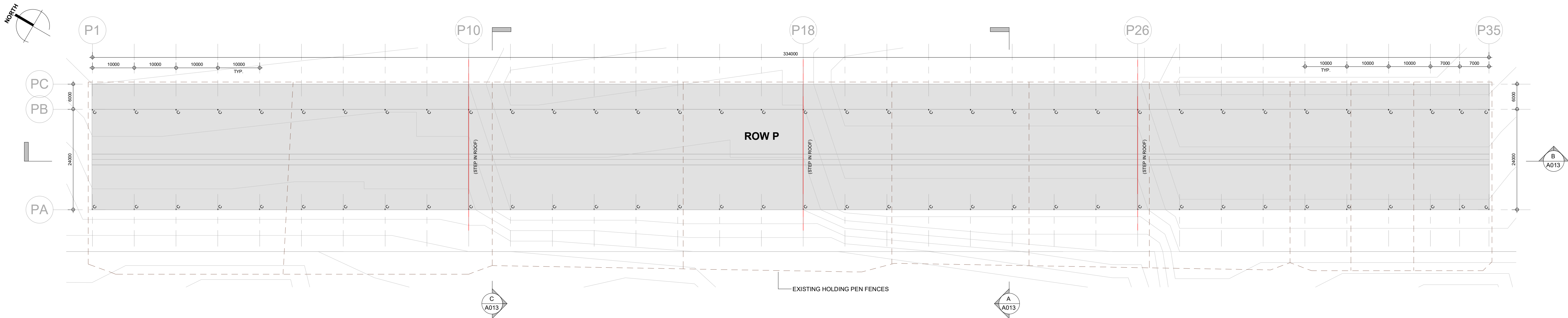
PROJECT No.

1267-25

SHEET

A003

LEGEND	
TL	SELECTED TILE SURFACE
CPT	SELECTED CARPET SURFACE
TM	SELECTED TIMBER FLOOR
VVL	SELECTED VINYL FLOOR FINISH
CONC	CONCRETE FLOOR FINISH
SH	SHOWER
WC	SELECTED WATER CLOSET
V	SELECTED WALL MOUNTED VANITY
SK	SELECTED SINK
BTH	SELECTED BATH
FW	FLOOR WASTE
SG	SHOWER GRATE
MV	MECHANICAL VENTILATION
FP	FIRE PLACE
DP	DOWN PIPE
HWS	HOTWATER SYSTEM
GAS	GAS BOTTLE
MB	METRE BOX
TP	STANDPIPE + HOSE TAP
C	STRUCTURAL COLUMN
H+B	SELECTED HANDRAIL + BALUSTRADE
HR	SELECTED HANDRAIL



ROW P - LAYOUT PLAN

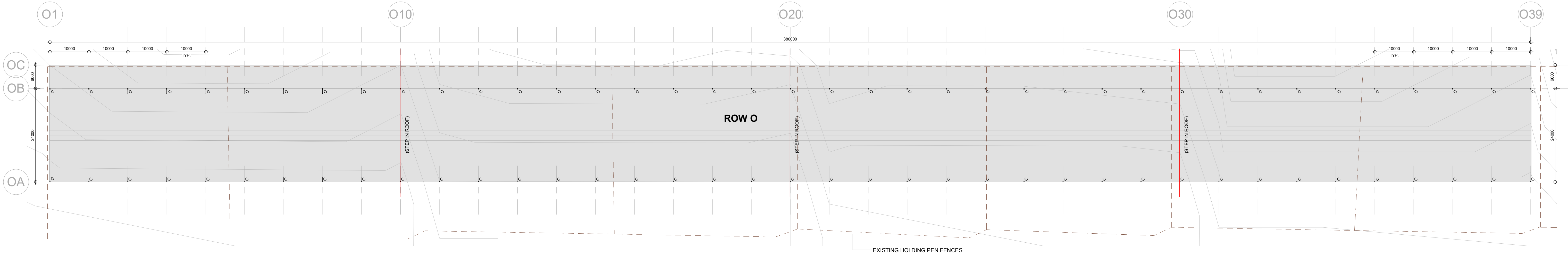
1 : 500

GENERAL AREAS		
Name	Area	Comments
ROW N - COVERED AREA	12590.4 m²	
ROW O - COVERED AREA	11391.9 m²	
ROW P - COVERED AREA	10026.2 m²	
TOTAL	34008.4 m²	

NOTES:
ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022 Amdt 1), COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS & CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.
ALL DIMENSIONS TO BE CONFIRMED ON SITE.
SARKING TO COMPLY WITH AS4200.1 AND WILL HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5.
ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.

GENERAL SPECIFICATIONS
WALLS: STEEL PORTAL FRAME WITH STEEL RAFTERS/TRUSSES & PURLINS TO NEW ADDITIONS TO ENG. DETAILS IN COMPLIANCE WITH AS1170, AS4100, AS/NZS 4600 + NCC PART B1
ROOFS: SELECTED TRIMDEK COLORBOND ROOF SHEETING COLORBOND GUTTER & FASCIA VAPOUR PERMEABLE SARKING TO ROOFS TO COMPLY WITH + NCC PART F803

LEGEND	
TL	SELECTED TILE SURFACE
CPT	SELECTED CARPET SURFACE
TM	SELECTED TIMBER FLOOR
VYL	SELECTED VINYL FLOOR FINISH
CONC	CONCRETE FLOOR FINISH
SH	SHOWER
WC	SELECTED WATER CLOSET
V	SELECTED WALL MOUNTED VANITY
SK	SELECTED SINK
BTH	SELECTED BATH
FW	FLOOR WASTE
SG	SHOWER GRATE
MV	MECHANICAL VENTILATION
FP	FIRE PLACE
DP	DOWN PIPE
HWS	HOTWATER SYSTEM
GAS	GAS BOTTLE
MB	METRE BOX
TP	STANDPIPE + HOSE TAP
C	STRUCTURAL COLUMN
HB	SELECTED HANDRAIL + BALUSTRADE
HR	SELECTED HANDRAIL



ROW O - LAYOUT PLAN

1 : 500

NOTES:
ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022 Amendment 1), COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS & CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.
ALL DIMENSIONS TO BE CONFIRMED ON SITE.
SARKING TO COMPLY WITH AS4200.1 AND WILL HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5
ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.

GENERAL AREAS		
Name	Area	Comments
ROW N - COVERED AREA	12590.4 m²	
ROW O - COVERED AREA	11391.9 m²	
ROW P - COVERED AREA	10026.2 m²	
TOTAL	34008.4 m²	

GENERAL SPECIFICATIONS	
WALLS:	STEEL PORTAL FRAME WITH STEEL RAFTERS/TRUSSES & PURLINS TO NEW ADDITIONS TO ENG. DETAILS IN COMPLIANCE WITH AS1170, AS4100, AS/NZS 4600 + NCC PART B1
ROOFS:	SELECTED TRIMDEK COLORBOND ROOF SHEETING
	COLORBOND GUTTER & FASCIA
	VAPOUR PERMEABLE SARKING TO ROOFS TO COMPLY WITH + NCC PART F803

PROPOSED ANIMAL SHELTERS

PINE RIDGE ROAD, QUIRINDI
KILLARA FEEDLOT

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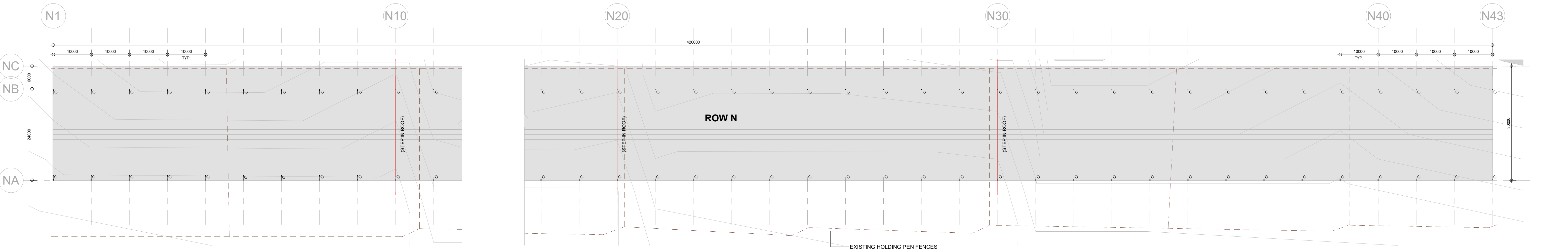
SCALE As indicated

DATE 16/11/2025
DRAWN SAE
DESIGNED SAE

REVISION	DESCRIPTION
1	PRELIMINARY ISSUE
2	FOR DA SUBMISSION
3	DA REVISION (ROW N)

DATE 29/05/2025
10/10/2025
16/11/2025

LEGEND	
TL	SELECTED TILE SURFACE
CPT	SELECTED CARPET SURFACE
TM	SELECTED TIMBER FLOOR
VYL	SELECTED VINYL FLOOR FINISH
CONC	CONCRETE FLOOR FINISH
SH	SHOWER
WC	SELECTED WATER CLOSET
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FP	FIRE PLACE
DP	DOWN PIPE
HWS	HOTWATER SYSTEM
GAS	GAS BOTTLE
MB	METRE BOX
TP	STANDPIPE + HOSE TAP
C	STRUCTURAL COLUMN
H+B	SELECTED HANDRAIL + BALUSTRADE
HR	SELECTED HANDRAIL



ROW N - LAYOUT PLAN

1 : 500

NOTES:
ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022 Amendment 1), COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS & CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.
ALL DIMENSIONS TO BE CONFIRMED ON SITE.
SARKING TO COMPLY WITH AS4200.1 AND WILL HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5
ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.

GENERAL AREAS		
Name	Area	Comments
ROW N - COVERED AREA	12590.4 m²	
ROW O - COVERED AREA	11391.9 m²	
ROW P - COVERED AREA	10026.2 m²	
TOTAL	34008.4 m²	

GENERAL SPECIFICATIONS
WALLS: STEEL PORTAL FRAME WITH STEEL RAKERS/TRUSSES & PURLINS TO NEW ADDITIONS TO ENG. DETAILS IN COMPLIANCE WITH AS1170, AS4100, AS/NZS 4600 + NCC PART B1
ROOFS: SELECTED TRIMDEK COLORBOND ROOF SHEETING COLORBOND GUTTER & FASCIA VAPOUR PERMEABLE SARKING TO ROOFS TO COMPLY WITH + NCC PART F803

PROPOSED ANIMAL SHELTERS

PINE RIDGE ROAD, QUIRINDI
KILLARA FEEDLOT

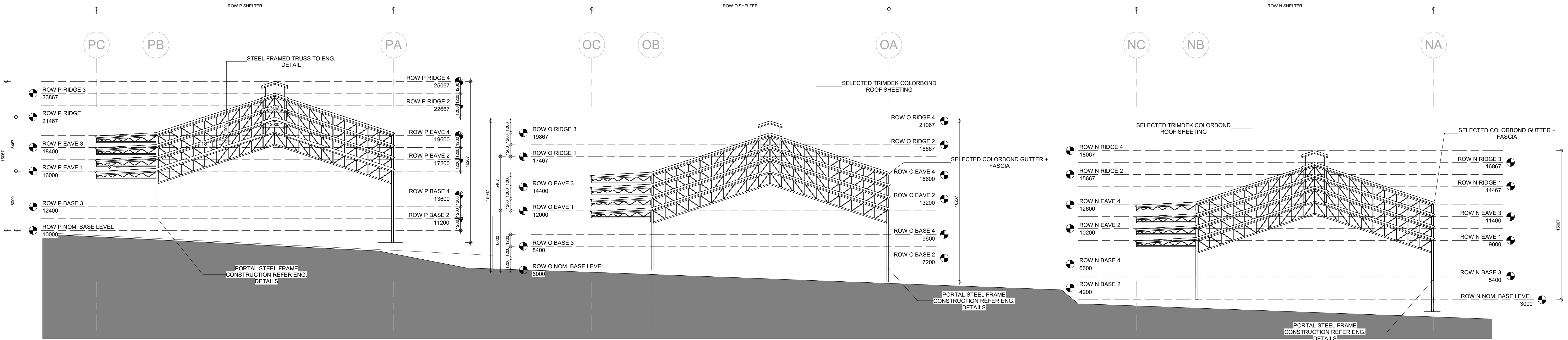
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SCALE As indicated

DATE 16/11/2025
DRAWN SAE
DESIGNED SAE

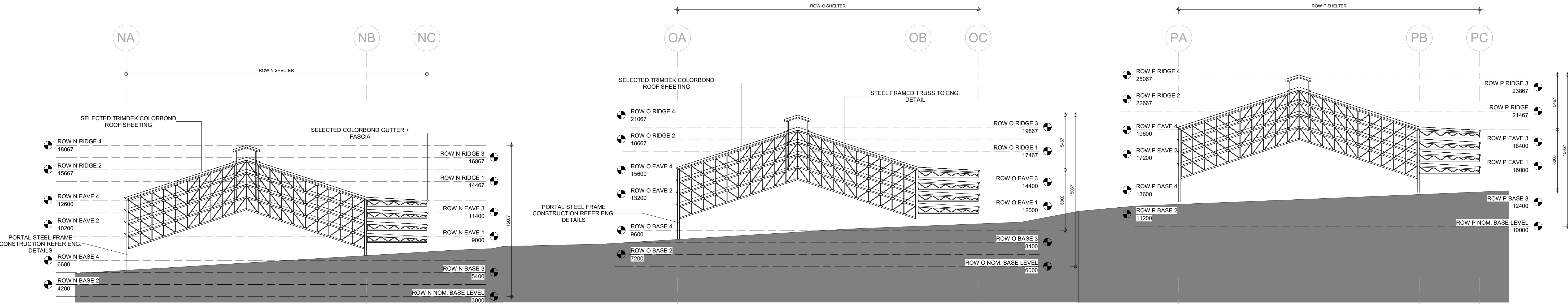
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2	FOR DA SUBMISSION
3	DA REVISION (ROW N)

DATE
29/05/2025
10/10/2025
16/11/2025



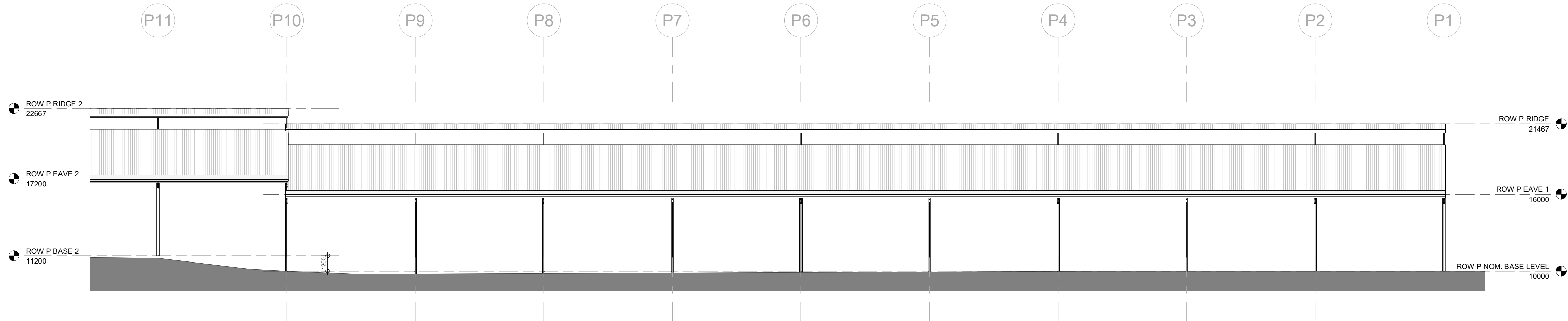
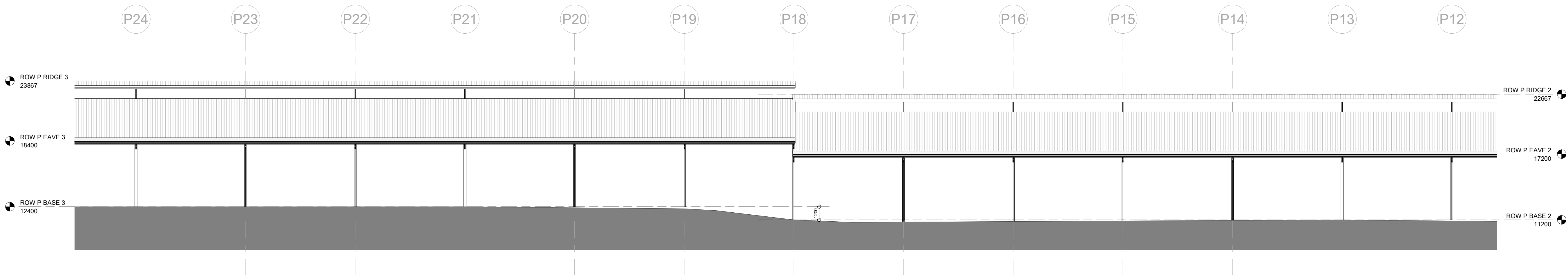
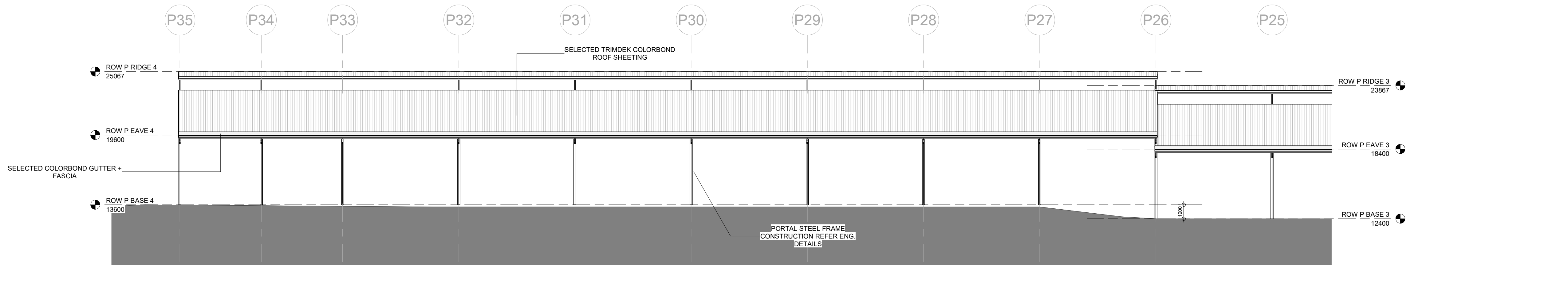
NORTH

1 : 200



SOUTH

1 : 200



EAST ROW P

1 : 200

PROPOSED ANIMAL SHELTERS

PINE RIDGE ROAD, QUIRINDI
KILLARA FEEDLOT

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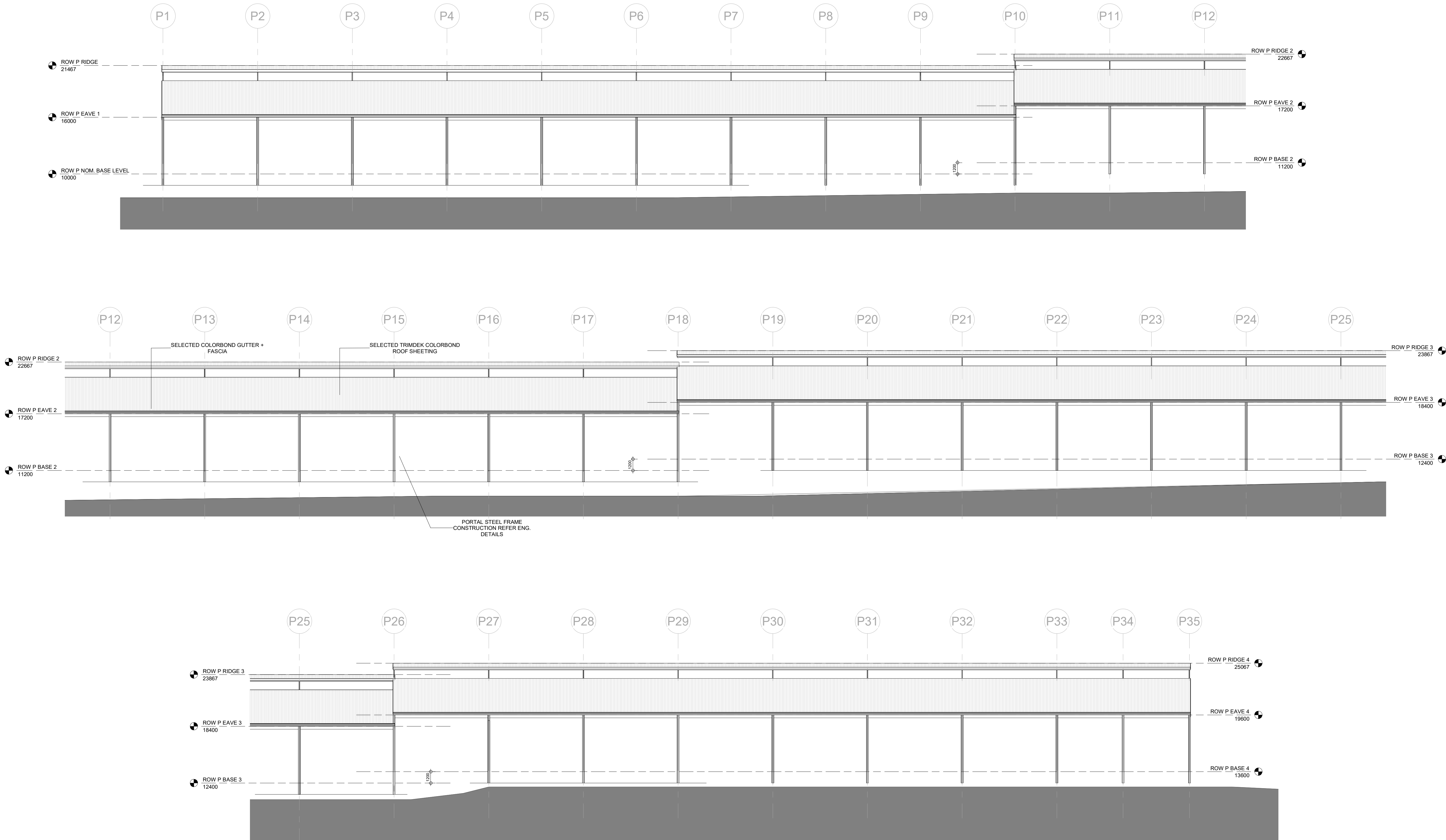
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DATE 16/11/2025
DRAWN SAE
DESIGNED SAE

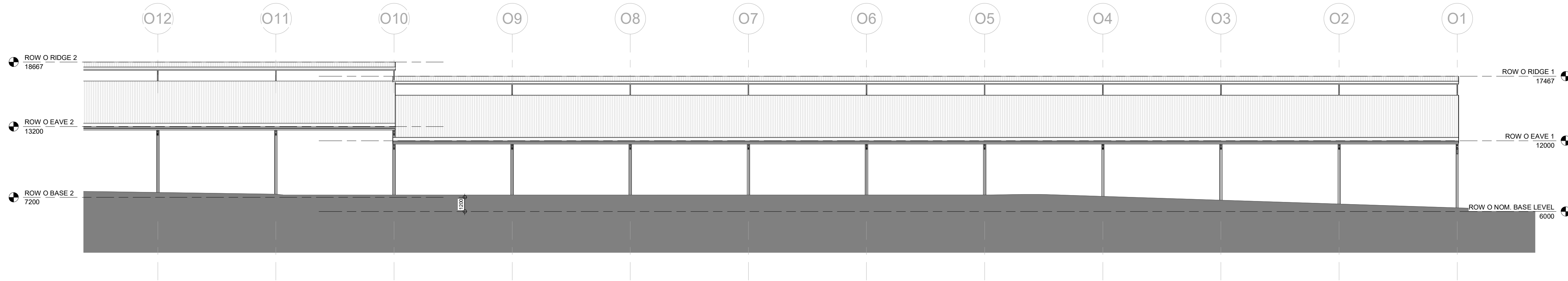
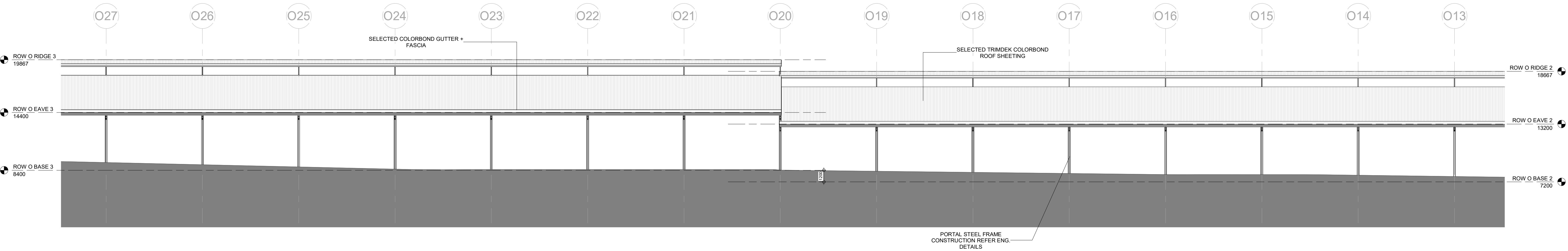
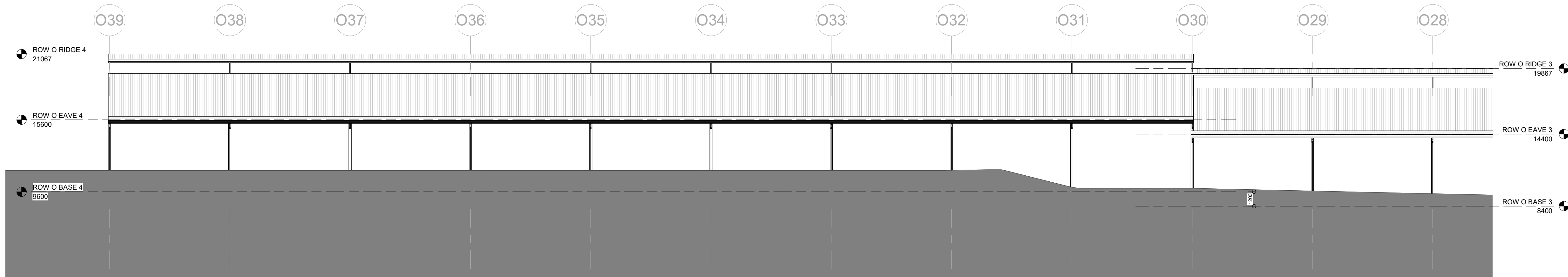
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1	PRELIMINARY ISSUE	29/05/2025
2	FOR DA SUBMISSION	10/10/2025
3	DA REVISION (ROW N)	16/11/2025

DATE 16/11/2025

PROJECT No.
1267-25
SHEET
A008

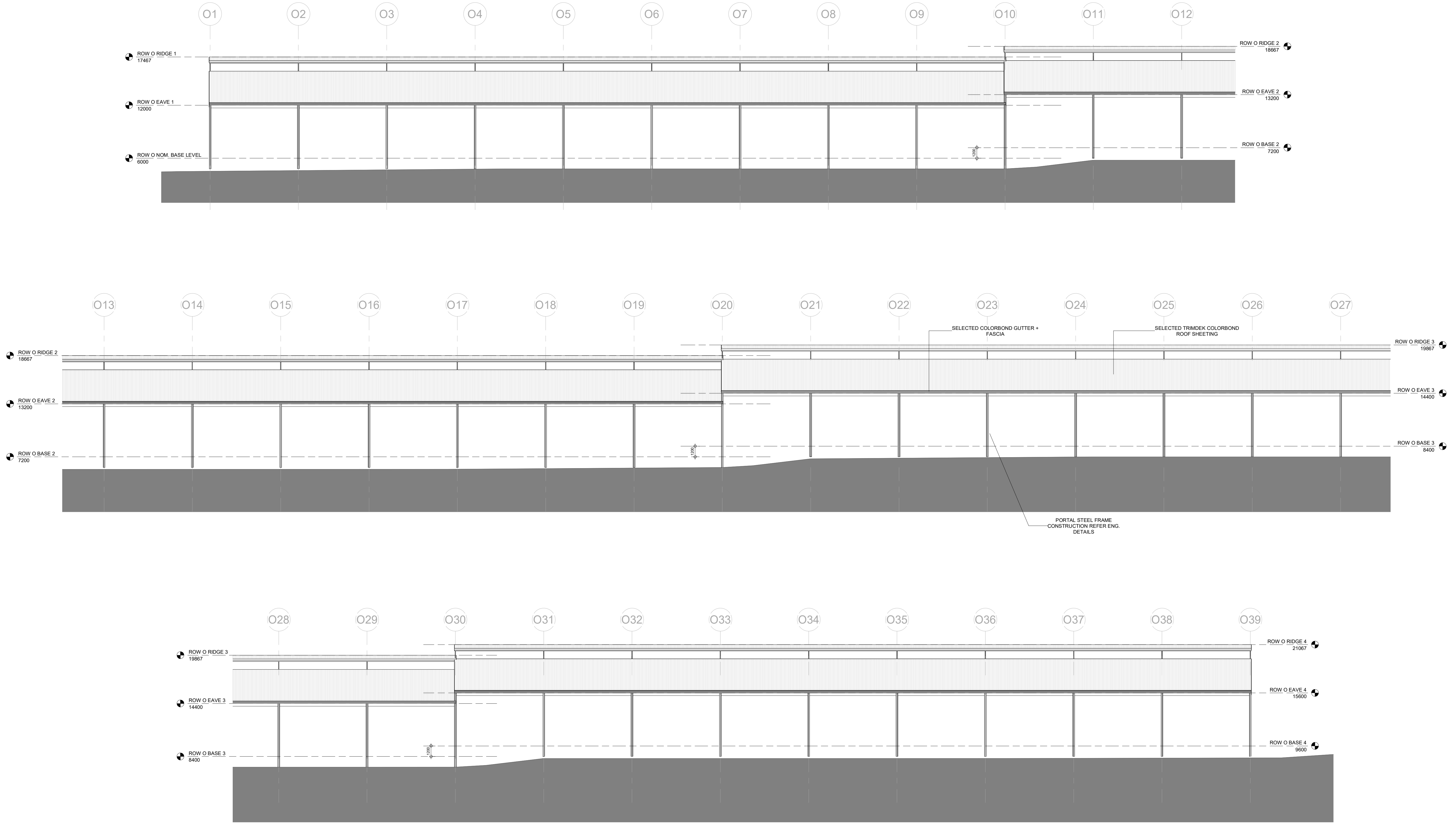


WEST ROW P
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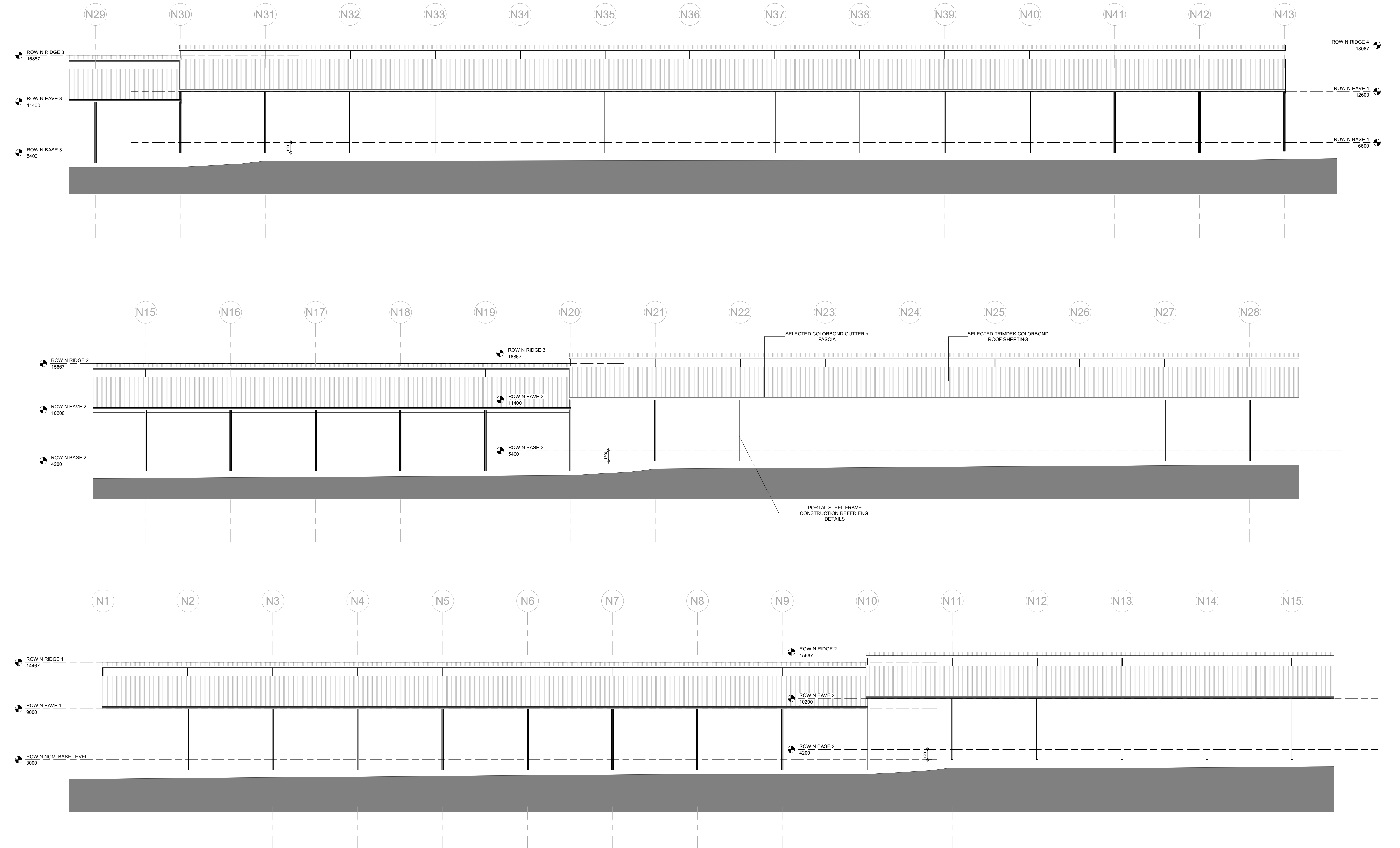


EAST ROW O

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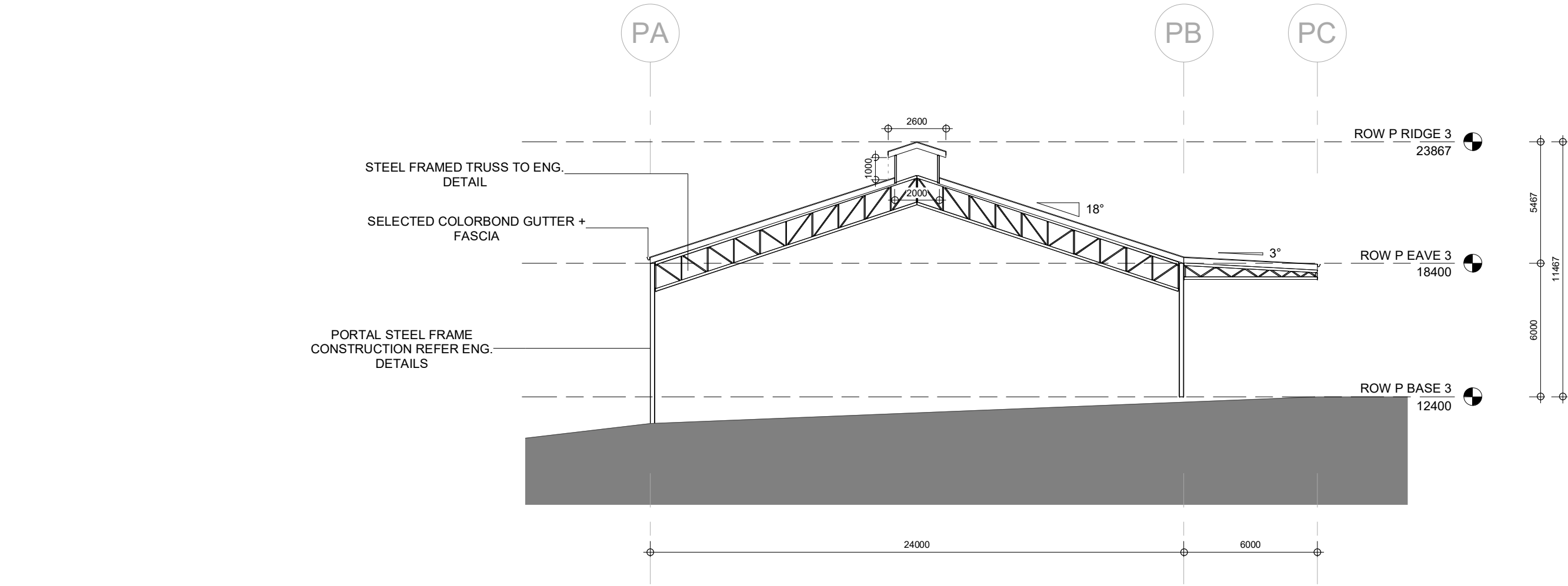


WEST ROW O
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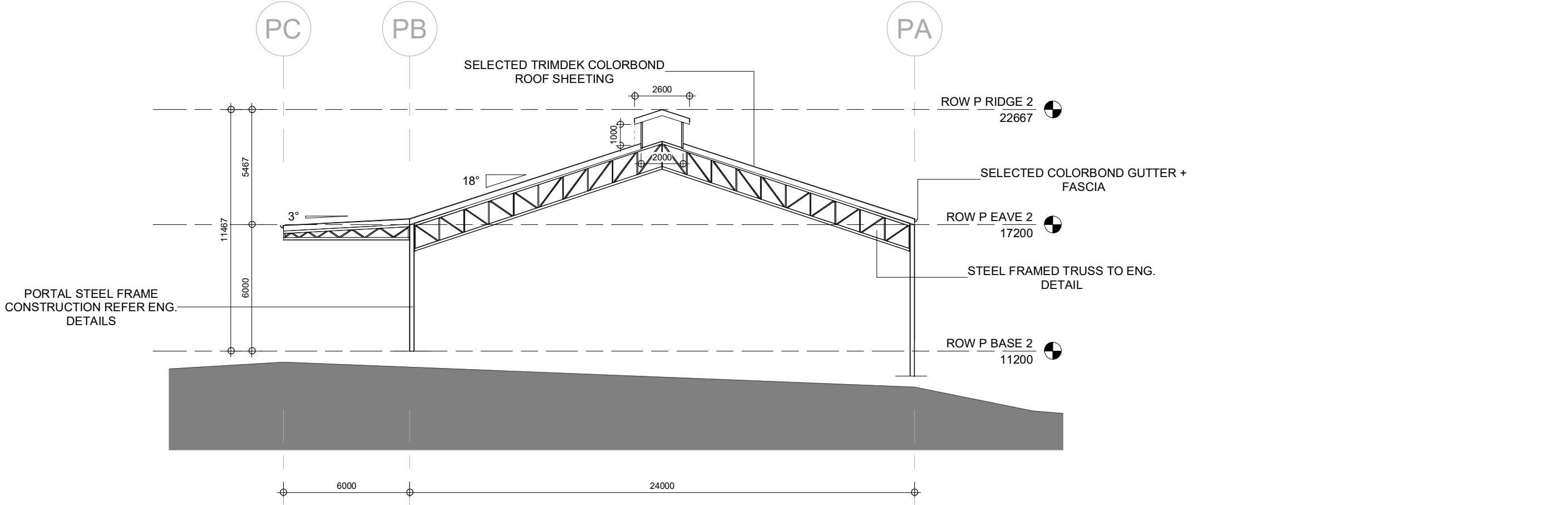
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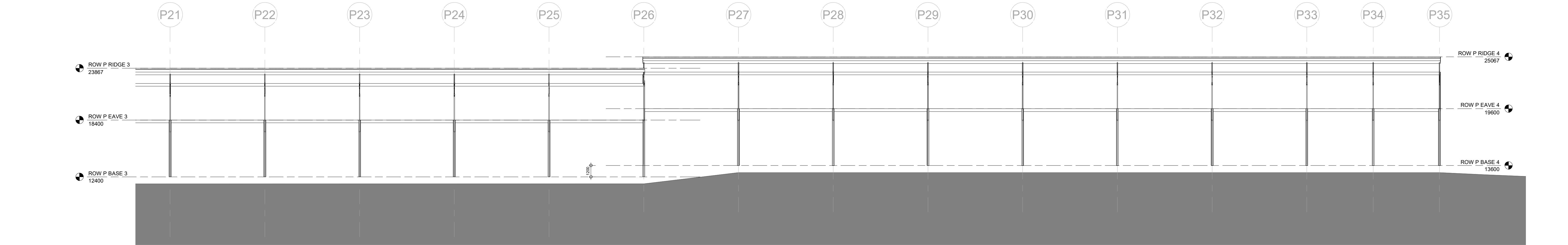
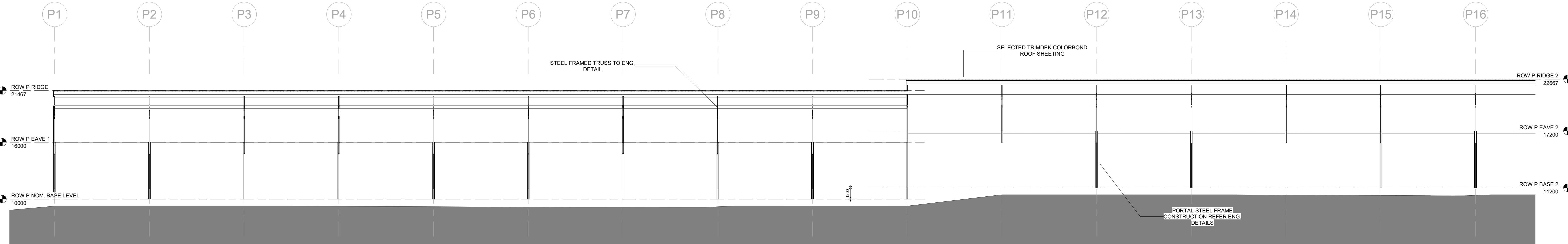
SECTION A (ROW P)

1 : 200



SECTION C (ROW P)

1 : 200



SECTION B (ROW P)

1 : 200

barnson.

APPENDIX D

Stormwater Details

Killara Feedlot Expansion

Killara Feedlot Pty Ltd

13 November 2025

1 INTRODUCTION

The Killara Feedlot (Killara) is Located on Bundella Road, approximately 8.5 km north-west of Quirindi. In 2024, an expansion of the feedlot from 20,000 head to 22,500 head was approved by Liverpool Shire Plains Council (LPSC) and an application to vary the Environment Protection Licence (EPL) approved by the Environment Protection Authority (EPA).

Killara are proposing to construct three new shelters across existing pens. The shelters are indented to provide shade and a dry environment for cattle during wet weather. This document provides justification that the proposed shelters will not substantially change or influence environmental compliance. The key considerations addressed in this document are:

- General feedlot operations and throughput;
- Effluent and stormwater controls;
- Odour and pen surface management; and
- Visual amenity.

For context, key plans from the most recent approval have been provided in Appendix A. However, there are no changes to these plans and additional plans detailing the shelter coverage can be included in addition to the existing approved plans.

2 FEEDLOT OPERATIONS

The proposed shelters will not change the capacity, throughput or general operations of the feedlot. The approved capacity of 22,500 head and average stocking density of 12 m²/head remain unchanged. This means there are no changes to the cattle throughput, feedmill operations, access, vehicle generation, operating hours, water supply and/or demand, and staff.

3 EFFLUENT AND STORMWATER

The proposed shelters partially cover three existing rows of pens and are intended to be a replacement and improvement on traditional shade cloth shade and/or waterproof fabric shade. As part of this retrofit, there will be no changes to pen configuration or the controlled drainage area (CDA). Rainfall that falls on the shelters would be currently falling on the pens and entering the existing earthen drains. These drains direct runoff (stormwater or effluent) into the existing sedimentation system and effluent holding ponds.

The accepted method of sizing feedlot effluent holding ponds in NSW is to undertake a daily/monthly timestep water balance model, which applies a standard runoff coefficient of 0.4 across the entire catchment. This considers the varying surfaces of hard catchment, pen catchment, soft

catchment and manure composting area. As such, partially covering a row of pens would not influence the normal model and the existing pond sizing remains compliant. For the most recent expansion application, the Model for Effluent Disposal Using Irrigation (MEDLI) was used to model the expected spill frequency of the CDA. This model identified that the combined capacity of Ponds 1 (23 ML) and 2 (55 ML) was adequate to meet the spill frequency of no more than 1 in 10 years (90th percentile wet year). Pond 3 (103 ML), which is connected via pipeline, was not considered and Pond 4 (45 ML) has been recently constructed to provide further storage capacity.

Whilst the modelling remains unchanged, runoff generation from a shed roof is likely to be higher than a pen with manure as the manure absorbs some of the initial rainfall. However, once this manure is saturated, nearly all of the rainfall would be converted to runoff. The covered area also only represents approximately 4 % of the total CDA area. With the total effluent holding pond capacity of 226 ML far exceeds the minimum requirements and will adequately contain any minor change in stormwater generation caused by the sheds.

The velocity of the stormwater from the concentration of water into gutters and downpipes may cause erosion issues within the existing earthen drains, particularly in steeper sections. The discharge point of each downpipe should be reinforced with erosion control (e.g. rip rap) and, if erosion issues do occur, either maintenance will need to be increased or additional gravel, concrete, or concrete matting implemented along each drain. However, erosion within the drains is not a direct environmental risk providing effluent does not pool (which causes odour) and the underlying clay liner is not breached.

By preventing contact between rainfall and manure, the runoff/effluent that is generated is likely to be lower strength than normal feedlot effluent. This means that the mass balance of nutrients applied to the existing effluent utilisation area (EUA) will be less, improving the long-term sustainability of the soils. Killara has also made substantial investments in irrigation infrastructure over the last five years which have ensured that spill events have not occurred during events in which rainfall would meet the criteria for an acceptable spill event.

4 ODOUR

Generally, pen odour is generated when manure is wet following rainfall. Stocking density and pen cleaning have an influence, the exclusion of contact between rainfall and pen manure, using the proposed shelters, is expected to reduce the moisture content of the pen surface under the shelter. There is minimal data available to quantify this reduction but initial research and anecdotal evidence suggests that a covered pen, even with a higher stocking density, has lower odour emissions than a traditional uncovered pen. As such, it is expected that the proposed shelters will reduce overall odour emissions. Killara and the broader feedlot industry have planned odour trials and sampling to quantify this difference.

Whilst guttering is expected to be implemented, if gutters were to overflow, for example in a 1 in 1-year storm event (i.e. largest storm of the year), then this runoff would still be controlled by the existing drains. However, damage to the surface can be monitored and managed with pen cleaning and maintenance as is common practice in feedlot pens with traditional shade. Damage to the pen surface, and the potential for the accumulation of effluent and wet manure, can cause increased

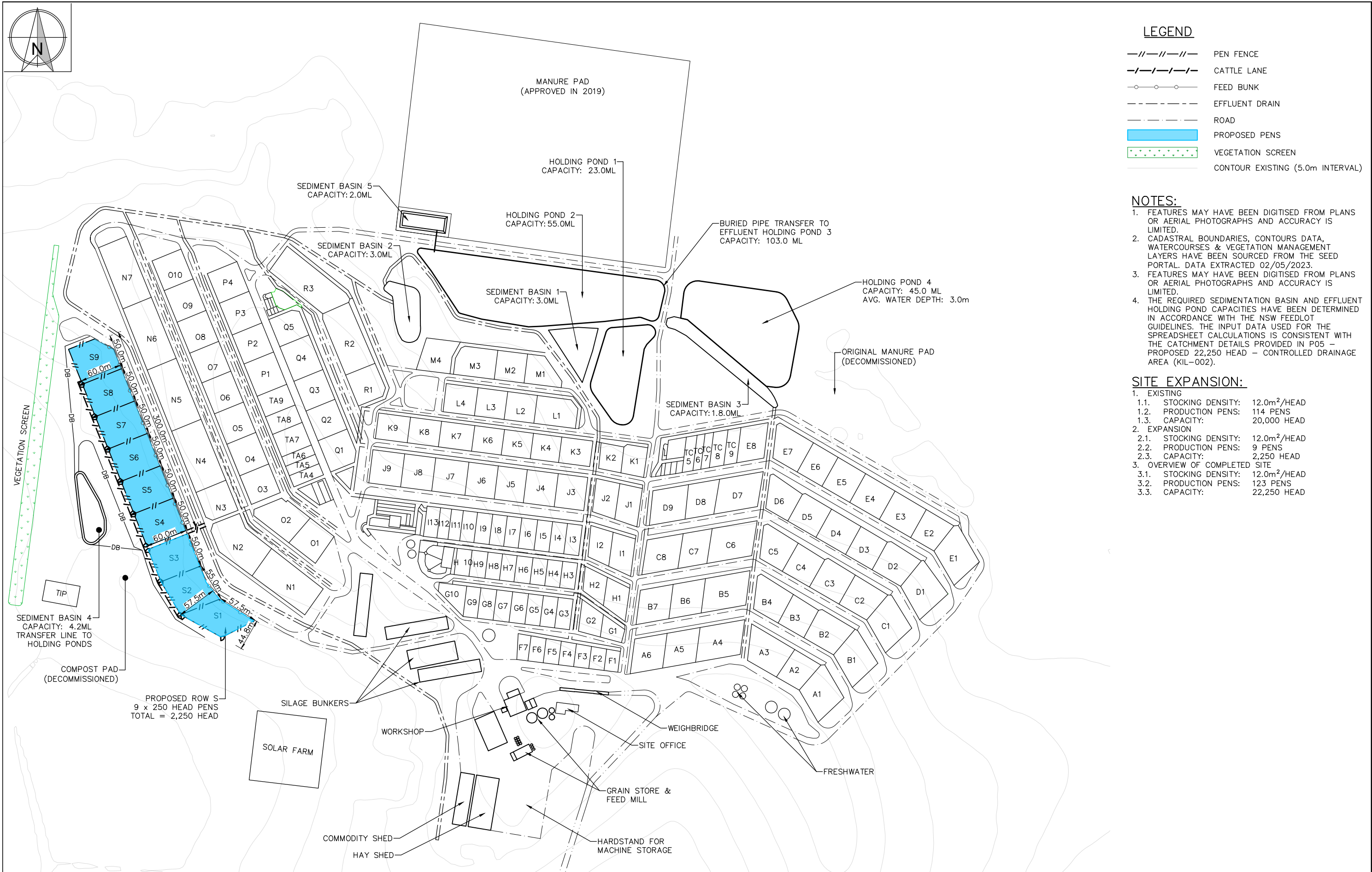
odour. As such, this will be a focus for the first 12 months of operation to determine any required changes to the maintenance schedule.



Improving the quality of the effluent, by diluting with shed stormwater, is likely to reduce the odour but this is not expected to be a noticeable difference.

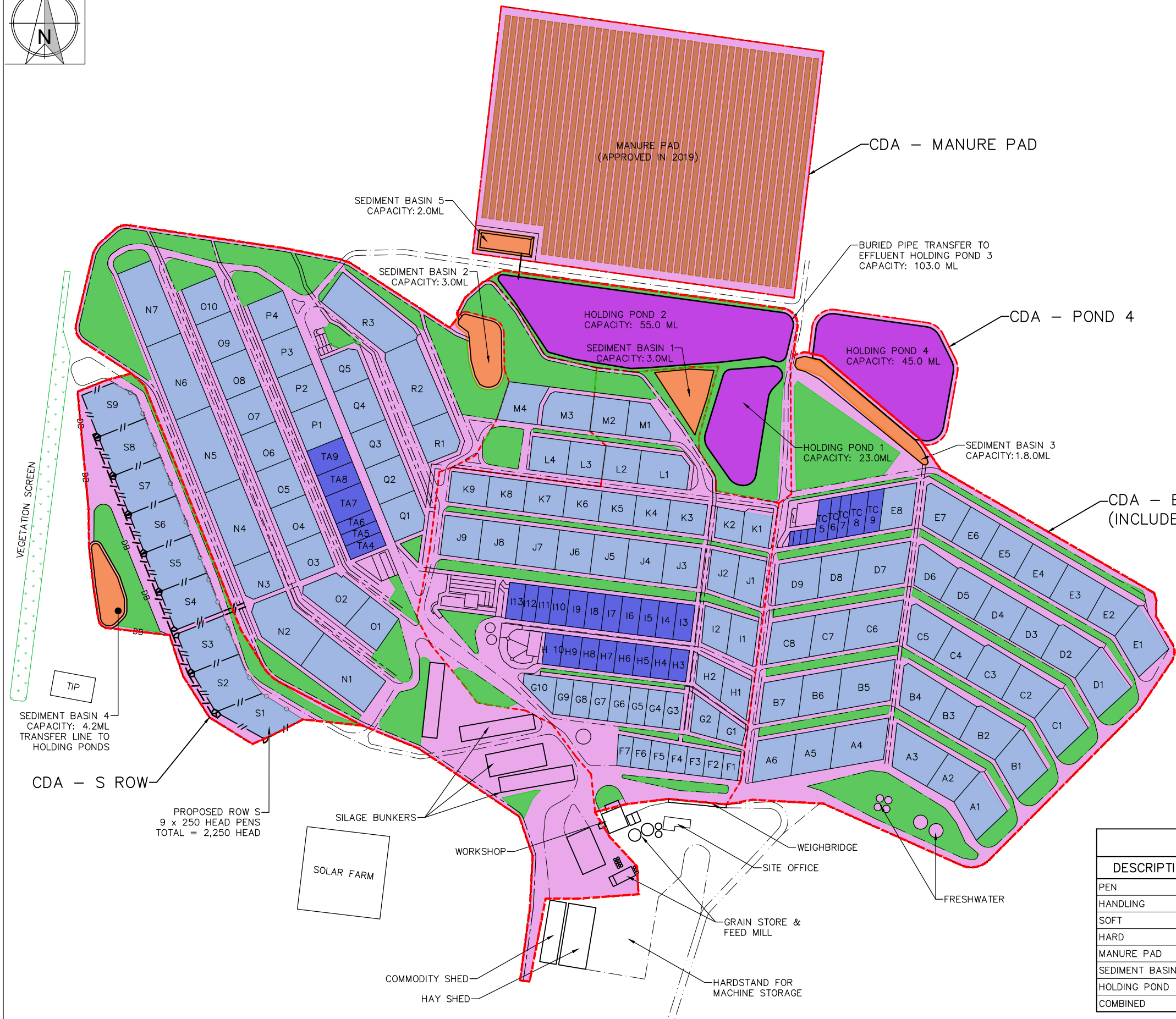
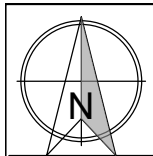
5 VISUAL AMENITY

Killara sits atop a hill, which is surrounded by mostly flat farming land. As such, it is visible from neighbours and public roads. However, the feedlot has been operational for over 30 years and is now a part of the rural landscape in that region. The proposed shelters are to replace waterproof fabric shade, which was damaged during a storm event. This fabric was white and also highly visible. Shade cloth and the feedmill are also visible. While the proposed shelters are large structures, they are contained within the existing footprint and will not substantially change the visual landscape. Whilst larger, they are similar in nature to hay sheds and other open-sided rural buildings.

APPENDIX A – SITE PLANS



CLIENT KILLARA FEEDLOT PTY LTD PROJECT KILLARA FEEDLOT EXPANSION LOCATION BUNDELLA ROAD, QUIRINDI, NSW 2343 SHEET TITLE PROPOSED 22,250 HEAD – DESIGN	 AGRICULTURAL DEVELOPMENT SERVICES AUSTRALIA PO BOX 292 TOOWOOMBA QLD 4350 PH: +61 418 446 245 E: contact@agdsa.com.au	SCALE 0 50 100 150m SCALE 1:2,500 (A1) 1:5,000 (A3)		DESIGNED TJS	FOR APPROVAL ONLY			JOB CODE KIL-002
				CHECKED MRN				SHEET NUMBER P04
				PROJECT MANAGER MRN	17/05/2023	A	ORIGINAL ISSUE	CURRENT REVISION A
					DATE	REV	DESCRIPTION	APPROVAL



LEGEND

--//--//--//--	PEN FENCE
-/-/-/-/-/-/-/-	CATTLE LANE
○-○-○-○-○-○-○-○	FEED BUNK
- - - - -	EFFLUENT DRAIN
- . - . - . - . - . -	ROAD
[Blue Box]	PROPOSED PENS
[Green Box with Dots]	VEGETATION SCREEN
- - - - -	CONTOUR EXISTING (5.0m INTERVAL)
[Red Dashed Line]	CATCHMENT BOUNDARY

NOTES:

1. FEATURES MAY HAVE BEEN DIGITISED FROM PLANS OR AERIAL PHOTOGRAPHS AND ACCURACY IS LIMITED.
2. THE REQUIRED SEDIMENTATION BASIN AND EFFLUENT HOLDING POND CAPACITIES HAVE BEEN DETERMINED IN ACCORDANCE WITH THE NSW FEEDLOT GUIDELINES. THE INPUT DATA USED FOR THE SPREADSHEET CALCULATIONS IS CONSISTENT WITH THE CATCHMENT DETAILS PROVIDED IN P05 - PROPOSED 22,250 HEAD - CONTROLLED DRAINAGE AREA (KIL-002).
3. SEDIMENT BASIN 4, HAS BEEN SIZED TO CATER FOR A MINIMUM ARI20, 24 HOUR STORM EVENT. EFFLUENT WILL BE TRANSFERRED TO THE EFFLUENT HOLDING PONDS AS SOON AS PRACTICAL AFTER RAINFALL EVENTS.

SEDIMENT BASIN OVERVIEW

NAME	CAPACITY	UNIT
SEDIMENT BASIN 1	3.0	ML
SEDIMENT BASIN 2	3.0	ML
SEDIMENT BASIN 3	1.8	ML
SEDIMENT BASIN 4	4.2	ML
COMBINED	12.0	ML

EFFLUENT HOLDING POND OVERVIEW

NAME	CAPACITY	UNIT
HOLDING POND 1	23.0	ML
HOLDING POND 2	55.0	ML
HOLDING POND 3	103.0	ML
HOLDING POND 4	45.0	ML
COMBINED	226.0	ML

CONTROLLED DRAINAGE AREAS

DESCRIPTION	LEGEND	EXISTING	MANURE	S ROW	POND 4	TOTAL
PEN	[Blue Box]	24.00	0.00	2.70	0.00	26.70
HANDLING	[Green Box]	2.73	0.00	0.00	0.00	2.73
SOFT	[Light Green Box]	10.50	0.00	0.61	0.00	11.10
HARD	[Pink Box]	21.11	4.18	1.65	0.35	27.29
MANURE PAD	[Brown Box]	0.00	7.33	0.00	0.00	7.33
SEDIMENT BASIN	[Orange Box]	0.87	0.16	0.23	0.00	1.27
HOLDING POND	[Purple Box]	4.69	0.00	0.00	1.97	6.93
COMBINED		64.17	11.68	5.19	2.32	83.36

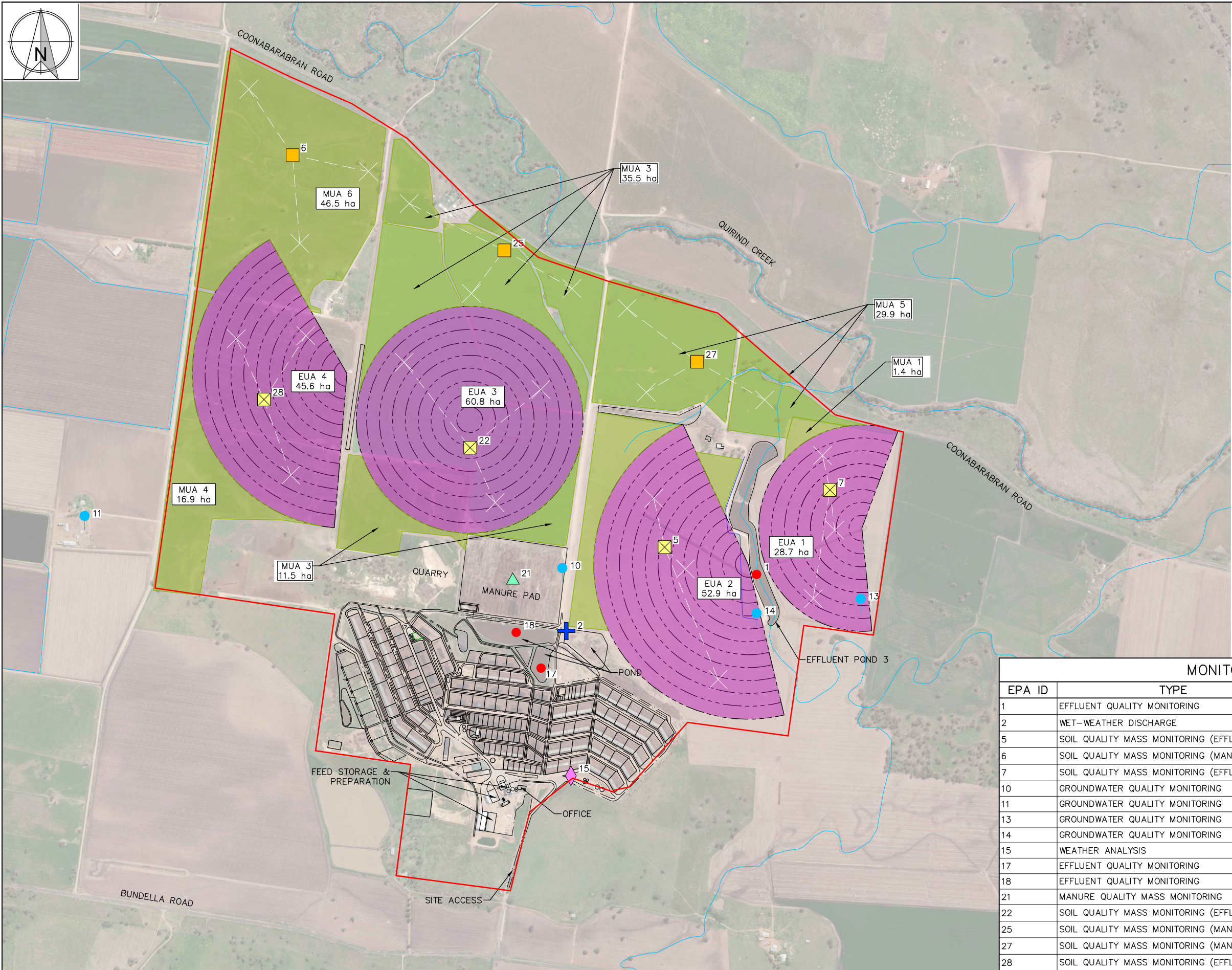
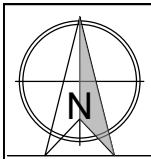
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KILLARA FEEDLOT PTY LTD
PROJECT
KILLARA FEEDLOT EXPANSION
LOCATION
BUNDELLA ROAD, QUIRINDI, NSW 2343
SHEET TITLE
PROPOSED 22,250 HEAD - CONTROLLED DRAINAGE AREA

AgDSA
AGRICULTURAL DEVELOPMENT
SERVICES AUSTRALIA
PO BOX 292
TOOWOOMBA QLD 4350
PH: +61 418 446 245
E: contact@agdsa.com.au

SCALE
0 50 100 150m
SCALE 1:2,500 (A1) 1:5,000 (A3)



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CHECKED MRN					SHEET NUMBER P05
PROJECT MANAGER MRN	17/05/2023	A	ORIGINAL ISSUE	TJS	CURRENT REVISION A
	DATE	REV	DESCRIPTION	APP	
REVISIONS					



LEGEND

- PROPERTY BOUNDARY
- MAPPED STREAM ORDER
- EFFLUENT REUSE AREA (EUA)
COMBINED AREA – 188.0 HA
- MANURE REUSE AREA (MUA)
COMBINED AREA – 153.5 HA
- FEEDLOT INFRASTRUCTURE
- MANURE QUALITY MASS MONITORING
- SOIL QUALITY MASS MONITORING (MANURE)
- SOIL QUALITY MASS MONITORING (EFFLUENT)
- WEATHER ANALYSIS
- EFFLUENT QUALITY MONITORING
- GROUNDWATER QUALITY MONITORING
- WET WEATHER DISCHARGE

NOTES:

- AERIAL IMAGE SOURCED FROM ESRI. IMAGE DATE 06/10/2021.
- FEATURES MAY HAVE BEEN DIGITISED FROM PLANS OR AERIAL PHOTOGRAPHS AND ACCURACY IS LIMITED.
- CADASTRAL BOUNDARIES, CONTOURS DATA, WATERCOURSES & VEGETATION MANAGEMENT LAYERS HAVE BEEN SOURCED FROM THE SEED PORTAL. DATA EXTRACTED 02/05/2023.
- FEATURES MAY HAVE BEEN DIGITISED FROM PLANS OR AERIAL PHOTOGRAPHS AND ACCURACY IS LIMITED.

MONITORING POINTS

EPA ID	TYPE	DESCRIPTION
1	EFFLUENT QUALITY MONITORING	EFFLUENT HOLDING POND NO. 3
2	WET-WEATHER DISCHARGE	EFFLUENT HOLDING POND NO. 4 SPILLWAY
5	SOIL QUALITY MASS MONITORING (EFFLUENT)	EFFLUENT UTILISATION AREA "K BLOCK"
6	SOIL QUALITY MASS MONITORING (MANURE)	MANURE UTILISATION AREA "HAZELDEAN"
7	SOIL QUALITY MASS MONITORING (EFFLUENT)	EFFLUENT UTILISATION AREA "P BLOCK"
10	GROUNDWATER QUALITY MONITORING	"PEPPERS LANE" BORE
11	GROUNDWATER QUALITY MONITORING	"RUTTERS" BORE
13	GROUNDWATER QUALITY MONITORING	"BAYLISS" BORE
14	GROUNDWATER QUALITY MONITORING	"KIKUYA" BORE
15	WEATHER ANALYSIS	WEATHER STATION
17	EFFLUENT QUALITY MONITORING	EFFLUENT HOLDING POND NO. 1
18	EFFLUENT QUALITY MONITORING	EFFLUENT HOLDING POND NO. 2
21	MANURE QUALITY MASS MONITORING	NEW MANURE PAD
22	SOIL QUALITY MASS MONITORING (EFFLUENT)	EFFLUENT UTILISATION AREA "DURYVALE PIVOT"
25	SOIL QUALITY MASS MONITORING (MANURE)	MANURE UTILISATION AREA "DURYVALE"
27	SOIL QUALITY MASS MONITORING (MANURE)	MANURE UTILISATION AREA "PEPPERS"
28	SOIL QUALITY MASS MONITORING (EFFLUENT)	EFFLUENT UTILISATION AREA "HAZELDEAN PIVOT"

CLIENT
KILLARA FEEDLOT PTY LTD

PROJECT
KILLARA FEEDLOT EXPANSION

LOCATION
BUNDELLA ROAD, QUIRINDI, NSW 2343

SHEET TITLE
MONITORING PLAN

AgDSA
AGRICULTURAL DEVELOPMENT
SERVICES AUSTRALIA

PO BOX 292
TOOWOOMBA QLD 4350
PH: +61 418 446 245
E: contact@agdsa.com.au

SCALE

0 150 300 450m

SCALE 1:7,500 (A1) 1:15,000 (A3)



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REVISIONS					